



Village of Morton Grove
Zoning Board of Appeals Agenda

July 21, 2026 - 7:00 P.M.

Flickinger Municipal Center, 6101 Capulina Avenue, Morton Grove, IL 60053

I. **CALL TO ORDER**

II. **APPROVAL OF MINUTES OF:** June 16, 2026

III. **PUBLIC HEARINGS:**

CASE: ZBA 26-08

APPLICANT: Dorina Marcus
9024 Linder Avenue
Morton Grove, Illinois 60053

LOCATON: 9024 Linder Avenue
Morton Grove, Illinois 60053

PETITION: Request for variation from Section 12-4-2 to allow an attached garage in a required rear yard.

CASE: ZBA 26-09

APPLICANT: Tuck Decker
9118 Menard Avenue
Morton Grove, Illinois 60053

LOCATON: 9118 Menard Avenue
Morton Grove, Illinois 60053

PETITION: Request for variation from Section 12-2-6 to allow a window well in a required side yard.

IV. **OTHER BUSINESS** None

V. **CLOSE MEETING**

Note that all persons are welcome to attend the public meeting in-person as regularly scheduled. All persons in attendance will have the opportunity to be heard during periods of public comment

Comments relating to this case may also be submitted no later than 12:00 p.m. on Tuesday, July 21, 2026, to [REDACTED] All comments received in relation to this case will be read at the public hearing for consideration by the Zoning Board of Appeals.

**MINUTES OF THE JUNE 16, 2026
MEETING OF THE ZONING BOARD OF APPEALS
VILLAGE HALL 6101 CAPULINA, MORTON GROVE, IL 60053**

Pursuant to proper notice in accordance with the Open Meetings Act, a regular meeting of the Zoning Board of Appeals was called to order at 7:00 PM by Chairman Kintner. Secretary Kirchner called the roll.

Members of the Board Present: Hussaini, Ingram, Kintner, Liston, Mohr, Stein and Weideman- Stone

Members Absent: None

Village Staff Present: Zoe Heidorn, Director of Community and Economic Development
Anne Ryder Kirchner, Planner/Zoning Administrator, and Secretary
James English, Building and Inspectional Services
Rick Dobrowski, Fire Prevention Coordinator

Trustees Present: Minx, Thill, Travis and Mayor Witko

Chairman Kintner described the procedures for the meeting. The Village and the applicant will present the case and the Zoning Board of Appeals (ZBA) may ask questions of the applicant. Then, anyone from the audience will be allowed to provide comment to the ZBA on the case. Four votes are required for approval, the Board decision is final and no request that is not significantly different may be submitted for one year after the decision. It was noted that 7 Board members were present.

Board Member Liston moved to approve the May 19, 2026 minutes, Board Member Stein seconded the motion. Chairman Kintner called for the vote.

Board Member Hussaini	abstain
Board Member Ingram	aye
Board Member Liston voting	aye
Board Member Mohr voting	aye
Board Member Stein voting	aye
Board Member Stone voting	aye
Chairman Kintner voting	aye

Motion passes (6-0)

CASE ZBA 26-05

APPLICANT: Iqbal Hussain
600 Naples Ct, Apt. 210
Glenview, Illinois 60025

LOCATION: 7154 Dempster Street
Morton Grove, IL 60053

PETITION: Requesting for variation from Section 12-7-3 for off-street parking in a Commercial District

Ms. Kirchner said the Applicant is requesting the variation to allow a reduction in the shared off-street parking requirement for the multi-tenant property at 7130-7188 Dempster Street. The applicant is proposing to locate a coffee shop in an existing vacant 4,078-square-foot space that would include approximately 43 tables with seating for an estimated total of 98 patrons. There is also a party room with eight (8) additional tables for 16 patrons. The shop would have three (3) employees on-site and would operate Monday through Sunday from 7:00 a.m. to 12:00 a.m.

The subject property has **142 on-site parking spaces** that are shared between the mix of uses. Three (3) units, including the unit in question, total 6,705 square feet in size and are currently vacant. The combined parking requirement for all uses on the site, including the proposed restaurant and assuming future occupancy of the two other vacant spaces by uses requiring no more than one (1) space per 250 square feet of floor area, is **189 spaces** if the shared parking calculation set forth by Section 12-7-3:H is not applied. Applying the shared parking calculation, the minimum off-street parking requirement is reduced to **170 spaces**.

Based on the shared parking requirement of 170 spaces and an on-site parking capacity of 142 spaces, the requested reduction of 20% qualifies for review by the Zoning Board of Appeals. For a property of this size, any request greater than a 30% variation would require a Special Use Permit.

Chairman Kintner clarified the hours of operation as 7:00 am to midnight. He further asked for the reasoning behind the shared parking calculation. Ms. Kirchner said it is for this type of multi-tenant property where the mix of tenants, their hours of operation, and their peak parking times can result in a lower parking requirement for the overall site.

The applicant is considered a restaurant with a 1/150 sq. ft. parking requirement. Discussion ensued regarding previous parking variations and their current status.

Board member Ingram asked if the business hours are accounted for in the parking requirements, though the parking code does not reference hours.

Board member Hussaini asked if any other businesses in the center are open to midnight. There are no other businesses open to midnight.

Board member Stone asked if Share Tea was open when parking study was conducted.

Chairman Kintner asked if ADA spaces are in the parking space count. They are required by our code to be in the count.

The applicants and traffic consultant were sworn in. Mr. Hussain said wishes to offer a high-end coffee shop where customers will spend time.

Chairman Kintner asked for the expectation of customers time spent at the restaurant. They expect grab and go and after 7:00 pm there will be an increase in sit-down customers. Mr. Koja said they will offer sweets and pastries.

Board member Mohr asked if the restrooms were unisex and if the large exit room at the rear of the property would be used for storage. Mr. Koja said they are unisex washrooms and there would be no storage in the exit room as it holds electrical panels and equipment.

Board member Hussaini asked if occupancy effected parking requirements. Ms. Kirchner said the parking code is based only on the entire square footage of the business, not occupancy. Discussion ensued regarding the code and shared parking.

Board member Stein asked how the coffee shop experience would differ from Starbucks as mentioned by the applicant. Their proposal is to provide a place for people to have more than grab and go. A place to gather as spend time over tea, coffee and treats.

Board member Stone noted that the coffee shop peak hours will differ from other tenant's peak hours.

Board member Liston asked for the closing hours of Great American Bagel, they close by 3:00 pm.

Mr. Opitz described the traffic study information collection in the parking lot. The maximum parking count was 88 spaces or 58% of spaces utilized. He said they analyzed store receipts from the Sayfani coffee shop located in Schaumburg, which has the same hours and 500 fewer square feet than the proposed Morton Grove location. That showed peak hours of noon and after 7:00 pm.

Board member Stone asked if the new dentist office was open during the parking study time frame. Blossom Orthodontics has opened for business at that time.

Chairman Kintner asked if there was turn over information for the Schaumburg location or for the Morton Grove location. Mr. Opitz said they did not have that data and explained how much detail is required for that type of study. He said this is not an empty lot but he is confident the lot can contain the new business without incident.

Chairman Kintner asked if there was any public comment.

Board member Hussaini said there are codes that regulate parking based on occupancy and should be taken into consideration. Ms. Kirchner noted that the Unified Development Code parking requirements are based only on square footage and not on occupancy. The square footage calculation for a restaurant of this size required 28 parking spaces which correlates with allowable occupancy.

Board member Ingram made a motion to approve Case ZBA 26-05, a request for a variation from Section 12-7-3 for off-street parking in a commercial district, subject to the following conditions:

- 1) The applicant's business shall operate in accordance with the plans submitted by the applicant in the Variation Application dated 5/14/2026; and
- 2) Should impacts of the parking variation be determined by the Village Administrator to be inconsistent with the representations and assertions contained in the Variation Application and provided by the applicant's testimony, such inconsistencies may serve as the basis for further review by the Zoning Board of Appeals and a requirement for additional measures to reduce parking demand.

Board member Liston seconded the motion. Chairman Kintner called for the vote.

Board Member Hussaini	aye
Board Member Ingram voting	aye
Board Member Liston voting	aye
Board Member Mohr voting	aye
Board Member Stein voting	aye
Board Member Stone voting	aye
Chairman Kintner voting	aye

Motion passes (7-0)

Chairman Kintner asked for any other business or discussion.

Board Member Liston moved to adjourn the meeting, seconded by Board Member Stone. The motion to adjourn the meeting was approved unanimously pursuant to a roll call at 7:36 p.m.

Minutes respectfully submitted by Anne Ryder Kirchner.

DRAFT

To: Chairperson Kintner and Members of the Zoning Board of Appeals

From: Anne Ryder Kirchner, Planner/Zoning Administrator
Zoe Heidorn, Director of Community and Economic Development

Date: July 14, 2026

Re: ZBA 26-08 – 9024 Linder Avenue (10-16-310-064-0000)
Request for variation from Section 12-4-2:D to add a garage addition to a principal structure in a required rear yard.

STAFF REPORT

Public Notice

The Village of Morton Grove provided public notice for the July 21, 2026, Zoning Board of Appeals public hearing for ZBA 26-08 in accordance with the Unified Development Code. The *Morton Grove Champion* published a public notice on June 25, 2026. The Village mailed letters on June 25, 2026, notifying surrounding property owners, and placed a public notice sign on the subject property on, June 25, 2026.

Request Summary

Property Background

The subject property at 9024 Linder Avenue in Morton Grove, Illinois, is an interior lot on the west side of Linder Avenue located between Davis Street and Lake Street. The 5,607 square-foot property is zoned R-2 Single Family Residence and is improved with a single-family residence, detached garage and a covered concrete area/patio installed without a permit. Surrounding properties are also zoned within the R-2 District and are improved with single-family residences. Properties to the east, across Linder Avenue, are located in the Village of Skokie.



Subject Property Location Map

Application Overview

The applicant and owner, Dorina Marcus, is requesting a variation to construct an attached garage within the 30-foot required rear yard. The garage will replace a detached garage and will be attached to an existing covered patio area connecting the garage and principal structure. With a proposed rear setback of 5 feet, a variation of 25 feet from the 30-foot rear setback requirement is necessary to authorize the project as presented.

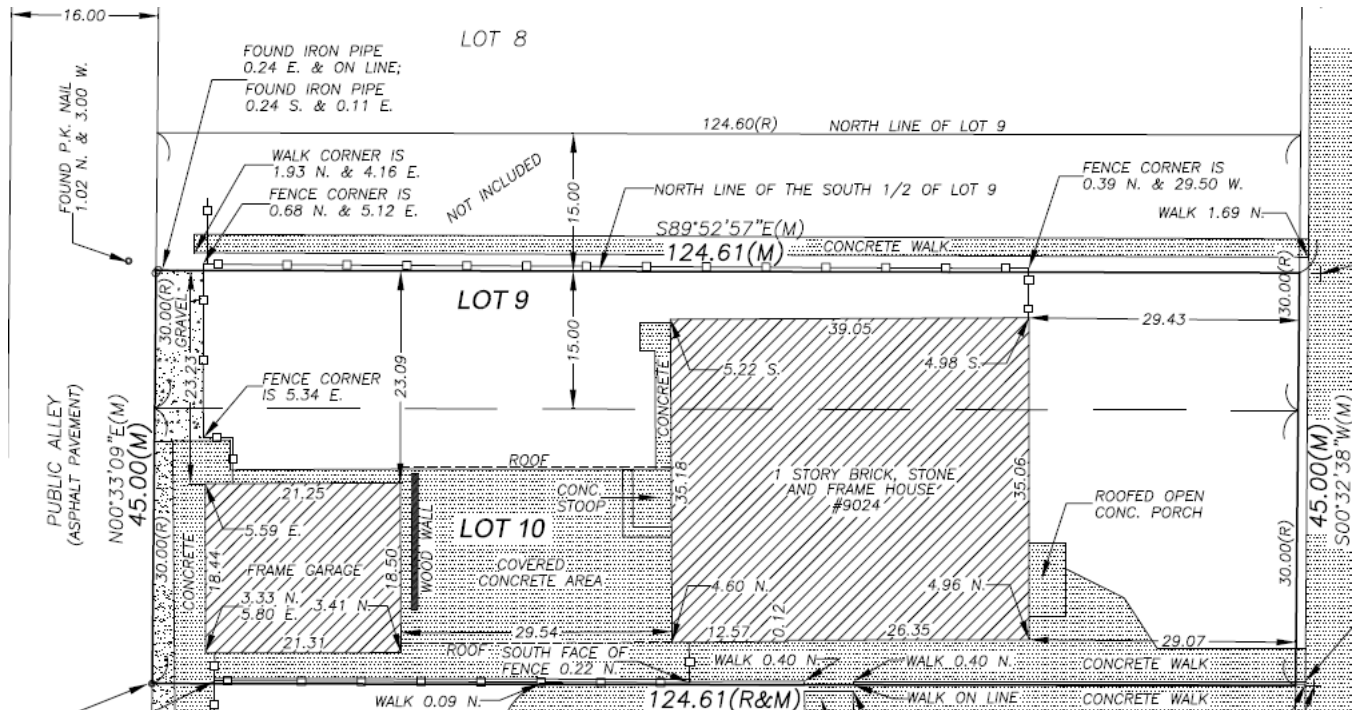
Requested Waivers

The following chart provides a summary of the requested waiver based on Unified Development Code requirements:

Dimensional Control	Code Requirement	Existing	Proposed	Waiver Request
Minimum Front Yard (12-4-2:D)	25 ft.	29.07	No change	Compliant
Minimum Side Yard (12-4-2:D)	5 ft.	23.09 ft. north 3.3 ft. south	21 ft. north 5 ft. south	Compliant
Minimum Rear Yard (12-4-2:D)	30 ft.	5.5 ft.	5 ft.	Waiver of 25 feet
Maximum Floor Area Ratio (12-4-2:D)	0.60	0.41	0.42	Compliant
Maximum Lot Coverage (12-4-2:D)	60%	56%	56%	Compliant

As shown in the table, the following waiver is required in order to approve as proposed by the applicant:

- Section 12-4-2:D: Waiver of 25 feet to the minimum rear yard requirement of 30 feet to allow a garage addition to a principal structure observing a 5-foot rear yard.



Plat of Survey Showing Covered Concrete Area Adjacent to Current Garage



Subject Property View of Rear Covered Patio Addition and Existing Detached Garage

Discussion

The applicant seeks to construct a new garage that would be attached to a covered patio, thus making it an attached garage, replacing an existing detached garage. This would create a principal structure that does not observe the required 30-foot rear yard. A five-foot setback is proposed, which is the depth of the apron serving the garage from the alley.

The covered patio addition was constructed without a building permit in 2025 and would not have been allowed as it would need to be ten feet from the detached garage. The applicant's construction plans include the existing covered patio addition, which will be reviewed and permitted after-the-fact if the variation application is approved.

Staff notes that the proposed garage addition and the covered patio addition would conform to all other setback and coverage requirements if allowed as one principal structure.

Variation Standards

The Zoning Board of Appeals can approve the application as presented, approve it with conditions, or deny the application based on the following standards, established in Section 12-16-3:A:

- a. **Not Self-Imposed**: The alleged difficulty or hardship is caused by this title and has not been created by any persons presently having an interest in the subject property.
- b. **Nonmonetary Considerations**: The circumstances or conditions are such that the strict application of the provisions of this title would deprive the applicant of a reasonable use of his land. Mere loss in value shall not justify a variation.
- c. **Not Detrimental to Public Welfare**: The granting of any variation is in harmony with the general purposes and intent of this title and will not be detrimental to the public welfare or to other property or improvements in the neighborhood.
- d. **Not Detrimental to Neighborhood**: The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the streets, increase the potential damage of fire, endanger the public safety, or alter the character of the neighborhood.

The applicant has provided their responses to these standards in the Variation Application.

Recommendation

Should the Board approve Case ZBA 26-08, staff recommends the following motion and conditions:

Motion to approve Case ZBA 26-08, a request for approval of a variation from Section 12-4-2:D to allow an addition to a principal structure within a required rear yard subject to the following conditions:

- 1) The addition shall be constructed in accordance with the plans submitted by the applicant in the Variation Application dated 05/26/2026.*
- 2) The applicant shall file all necessary plans and applications, for review and approval, and secure all necessary building permits prior to the commencement of installation.*

Attachments

Application and related materials (submitted by applicants)



VARIATION APPLICATION

Village of Morton Grove
Department of Community Development
6101 Capulina Avenue, Morton Grove, Illinois 60053
commdev@mortongroveil.org | 847-663-3063

Case Number: 26-08 Date Application Filed: 5/26/2026

APPLICANT INFORMATION

Applicant Name: Dorina Marcus
Applicant Address: 9024 Linder Ave
Applicant City / State / Zip Code: Morton Grove, IL, 60053
Applicant Phone: 773-9546150
Applicant Email: [REDACTED]
Applicant Relationship to Property Owner: [REDACTED]
Applicant Signature: [Signature]

PROPERTY OWNER INFORMATION (IF DIFFERENT FROM APPLICANT)

Owner Name: _____
Owner Address: _____
Owner City / State / Zip Code: _____
Owner Phone: _____
Owner Email: _____
Owner Signature: _____

PROPERTY INFORMATION

Common Address of Property: 9024 Linder Ave
Property Identification Number (PIN): 10-16-310-064-000
Property Square Footage: 1360
Property Zoning District: _____
Property Current Use: Single family Residential home

APPLICATION INFORMATION

Applicant is requesting a variation from the following section(s) of the Morton Grove Unified Development Code:

Purpose of requested variation (attach as needed): To allow improvements and additions to the existing single family home in order to create additional functional living space and storage for our family while maintaining compatibility with the surrounding neighborhood

RESPONSES TO STANDARDS FOR VARIATION

Provide responses to the four (4) Standards for a Variation as listed in Section 12-16-3-A-2 of the Village of Morton Grove Unified Development Code. The applicant must present this information for the official record of the Zoning Board of Appeals. The Variation Standards are as follows:

- a. **Not Self-Imposed:** The alleged difficulty or hardship is caused by this title and has not been created by any persons presently having an interest in the subject property.

The hardship is related to the existing conditions and layout of the property. The existing limits our ability to reasonably improve and use the property for our family needs. The variation requested will help create more functional living and storage within the limits of the lot.

- b. **Nonmonetary Considerations:** The circumstances or conditions are such that the strict application of the provisions of this title would deprive the applicant of a reasonable use of their land. Mere loss in value shall not justify a variation.

Strict enforcement of the zoning rules would make it difficult for us to have enough functional living and storage space for our family. We have a young child and need a safe outdoor use. This request is based on family needs, not financial reasons.

- c. **Not Detrimental to Public Welfare:** The granting of any variation is in harmony with the general purposes and intent of this title and will not be detrimental to the public welfare or to other property or improvements in the neighborhood.

The requested variation will not harm public welfare and will remain consistent with the purpose of the zoning code. The improvements will be completed according to building and safety requirements and will improve the overall function and appearance of the property.

- d. **Not Detrimental to Neighborhood:** The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the streets, increase the potential damage of fire, endanger the public safety, or alter the character of the neighborhood.

The proposed variation will fit the surrounding neighborhood and will not negatively affect nearby properties. It will not create traffic, safety concerns or major impacts on neighboring homes. The character of the neighborhood will remain the same.

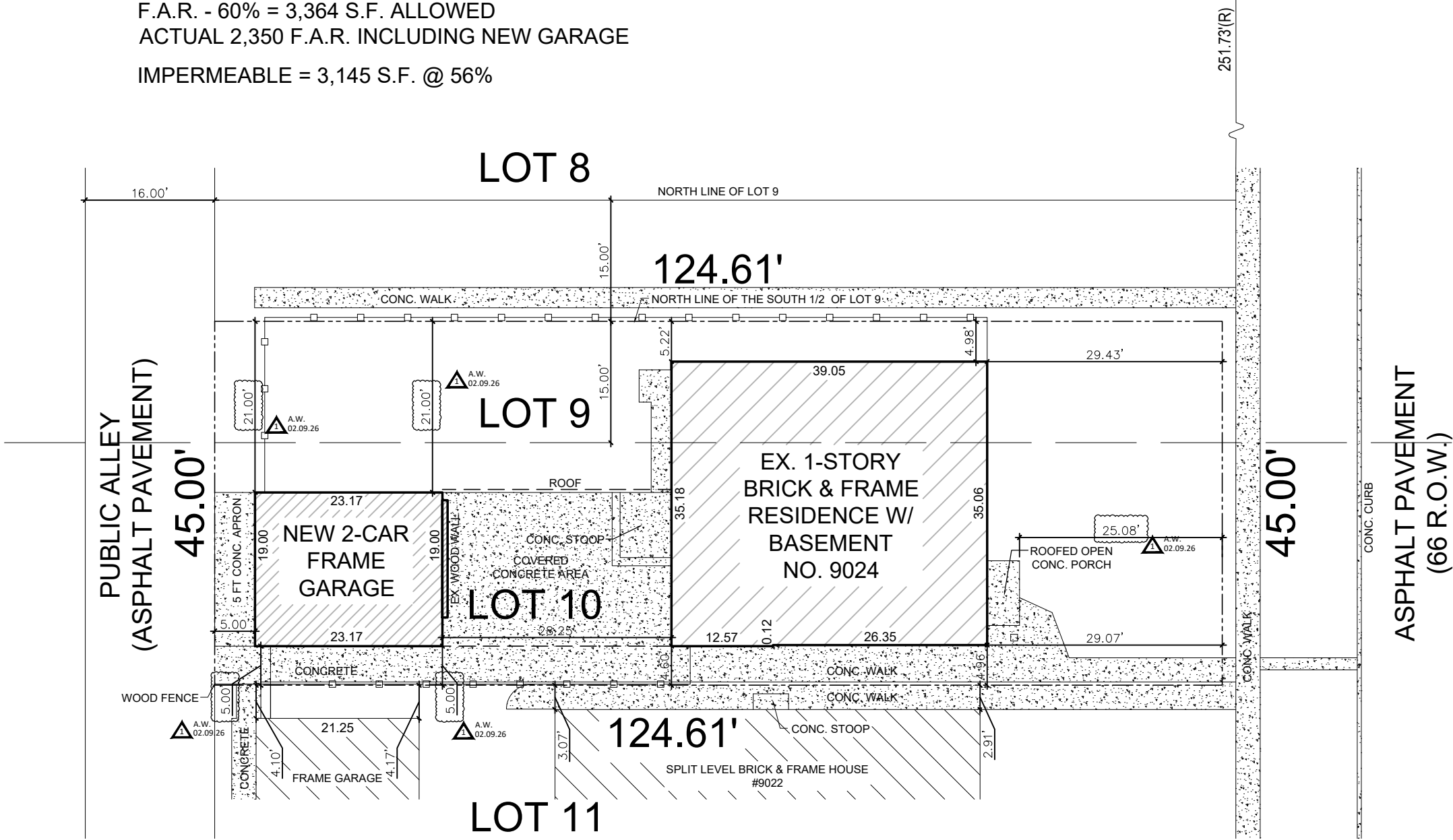
AREA TOTALS:

LOT SIZE = 5607 S.F.

F.A.R. - 60% = 3,364 S.F. ALLOWED
ACTUAL 2,350 F.A.R. INCLUDING NEW GARAGE

IMPERMEABLE = 3,145 S.F. @ 56%

SOUTH LINE OF DAVIS STREET



SITE PLAN
SCALE: 1/16"=1'-0"

LINDER AVENUE

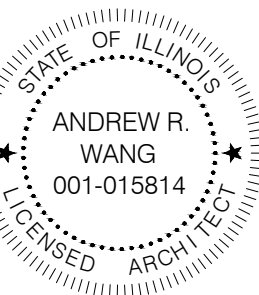
NEW 2-CAR GARAGE W/ COVERED
PATIO & NEW FRONT PORCH AT AN
EXISTING SINGLE FAMILY RESIDENCE
INCLUDING MINIMAL M.E.P. WORK AS
PER PLANS
AT
9024 LINDER AVE.

SAFETY & LIABILITY
NOTICE

THE ARCHITECT HAS NO RESPONSIBILITY FOR SAFETY PROGRAMS OR PROCEDURES AND HAS NO RIGHT TO STOP ANY WORK. JOBSITE SAFETY IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS.

ARCHITECT
ANDREW WANG

5756 N. ROGERS AVE.
CHICAGO, IL 60646
773.904.7560



ABBREVIATIONS

A.B.	ANCHOR BOLT	EXST.	EXISTING	PROVD	PROVIDED
ABV. GRD.	ABOVE GRADE	EXT	EXTERIOR	PS	PLUMBING STACK
ACC.	ACCESSIBLE	F.D.	FLOOR DRAIN	PSF	POUNDS PER SQUARE FOOT
ACT	ACOUSTICAL TILE	F.F.	FINISH FLOOR	PSI	POUNDS PER SQUARE INCH
A.D.	AREA DRAIN	FIN.	FINISH	PSL	PARALLEL STRAND LUMBER
A.F.F.	ABOVE FINISHED FLOOR	FLR	FLOOR	P.T.	PRESSURE TREATED
AFI	ARC FAULT INTERRUPTER	FND'N	FOUNDATION	PTD.	PAINTED
A.F.S.	ABOVE FINISHED SURFACE	FTG.	FOOTING	PVC	POLYVINYL CHLORIDE
APT	APARTMENT	FURN.	FURNACE	Q.T.	QUARRY TILE
BLDG	BUILDING	F.W.	FIRE WALL	R	RISER
BLKG	BLOCKING	GFI	GROUND FAULT INTERRUPTER	R.A.	RETURN AIR
B.O.	BOTTOM OF	GL.	GLAZING	REF.	REFRIGERATOR
BR	BEDROOM	GL.BL.	GLASS BLOCK	REG.	REGISTER
BRG	BEARING	GND	GROUND	REQ'D	REQUIRED
BRK.	BRICK	GYP. BD	GYPSPUM BOARD	RET.	RETURN
BSMT.	BASEMENT	HC	HOLLOW CORE	RM.	ROOM
BTUH	BRITISH THERMAL UNITS PER HOUR	HDWR	HARDWARE	R.O.	ROUGH OPENING
C	CABINET	HM	HOLLOW METAL	S	SEALANT
CAB.	CUBIC FEET PER MINUTE	HR	HOUR	SC.	SOLID CORE
CFM	CHECKERED	HT	HEIGHT	SCFS	SEALED CONCRETE FLOOR
CHEK'D	CHECKERED	HWH	HOT WATER HEATER	S.D.	SMOKE DETECTOR
CLG.	CEILING	INSUL.	INSULATION	S.F.	SQUARE FEET (FOOT)
CL.O.	CLOSET	INT	INTERIOR	SHO	SHOWER
CPT.	CARPET	J.BOX	JUNCTION BOX	SHT.	SHEET
CMU	CONCRETE MASONRY UNIT	KIT.	KITCHEN	SIM.	SIMILAR
CONC.	CONCRETE	KSF	KIP PER SQUARE FOOT	SP	SUMP PUMP
CONST.	CONSTRUCTION	LAV.	LAVATORY	S&P	STAIN & POLYURETHANE
CONT.	CONTINUOUS	LB.	POUND	STL.	STEEL
C.T.	CERAMIC TILE	LBP	LEAD BASED PAINT	STRUCT	STRUCTURAL
C.U.	CONDENSING UNIT	LIN	LINEN CLOSET	T	TREAD
D	DRYER	LIV. RM.	LIVING ROOM	T&B	TOP AND BOTTOM
DBL	DOUBLE	LL	LIVE LOAD	T.D.	TRAVEL DISTANCE
DIM.	DIMENSION	LVL	LAMINATED VENEER LUMBER	T.GL.	TEMPERED GLASS
DIN. RM.	DINING ROOM	MANUF.	MANUFACTURER	T.O.	TOP OF
DISP.	DISPOSAL	MATL	MATERIAL	T&P	TEMPERATURE AND PRESSURE
DL	DEAD LOAD	MAX.	MAXIMUM	TJ	TRUSS JOIST
DR	DOOR	MECH.	MECHANICAL	TYP.	TYPICAL
DS.	DOWN SPOUT	MIL.	MILLIMETER	UL	UNDERWRITER'S LABORATORY
DTL	DETAIL	MIN.	MINIMUM	VCT	VINYL COMPOSITION TILE
DW	DISHWASHER	M.O.	MASONRY OPENING	VENT	VENTILATION
EA.	EACH	MTD.	MOUNTED	V.I.F.	VERIFY IN FIELD
E.F.	EXHAUST FAN	MTL	METAL	V.T.R.	VENT TO ROOF
EFIS	EXTERIOR FINISH INSULATING SYSTEM	N.I.C.	NOT IN CONTRACT	W	WASHER
ELEC	ELECTRIC	NTS	NOT TO SCALE	W/	WITH
ELEV.	ELEVATION	O.C.	ON CENTER	W.C.	WATER CLOSET
EP	EJECTOR PUMP	OCC.	OCCUPANCY	WD	WOOD
EQUIP.	EQUIPMENT	O.H.	OPPOSITE HAND	WD	WASHER/DRYER
EXH.	EXHAUST	P.C.	PULL CHAIN	WP	WEATHER PROOF
EXP	EXPOSED CONSTRUCTION	PLYWD.	PLYWOOD	WWF.	WELDED WIRE FABRIC

GENERAL NOTES

- DRAWINGS GENERALLY INDICATE SCOPE OF WORK. EACH CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK TO ENSURE A COMPLETE AND PROPER INSTALLATION OF THEIR WORK. SEE SPECIFICATIONS FOR ADDITIONAL NOTES.
- ALL WORK SHALL COMPLY WITH VILLAGE OF MORTON GROVE, STATE AND FEDERAL ORDINANCES HAVING JURISDICTION. NOTHING HEREIN SHALL BE INTERPRETED TO THE CONTRARY. ALL PERMITS AND INSPECTIONS REQUIRED SHALL BE SECURED BY THE CONTRACTOR INVOLVED.
- EVERY CONTRACTOR AND SUB-CONTRACTOR BY USING THESE PLANS FOR THEIR WORK HEREBY AGREES TO HOLD THE VILLAGE OF MORTON GROVE, THE OWNER OF RECORD, THE ARCHITECT OF RECORD, INCLUDING THEIR RESPECTIVE EMPLOYEES AND AGENTS, WHILE ACTING WITH THE SCOPE OF THEIR DUTIES, FROM AND AGAINST ANY LIABILITY, CLAIMS, DAMAGES AND THE COST OF DEFENSE, ARISING OUT OF THE CONTRACTORS PERFORMANCE OF THE WORK DESCRIBED IN THESE PLANS AND SPECIFICATIONS, BUT NOT INCLUDING THE SOLE NEGLIGENCE OF THE OWNER, ARCHITECT, ENGINEER OR THEIR EMPLOYEES AND AGENTS.

ENERGY CONSERVATION CODE COMPLIANCE STATEMENT

I CERTIFY THAT I AM A REGISTERED ENERGY PROFESSIONAL (REP). I ALSO CERTIFY THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF THAT THE PLANS FOR ADDRESS: 9024 LINDER AVE. FULLY COMPLY WITH THE REQUIREMENTS OF CURRENT ILLINOIS CONSERVATION CODE (2021 IECC).

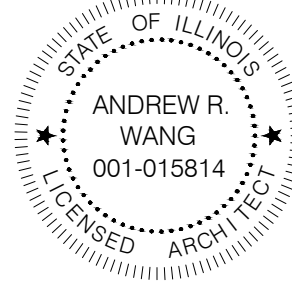
SIGNED: *Andrew R. Wang* DATE: 01/12/2026
ANDREW WANG
Illinois License Number: 001-015814 Exp: 11/30/2026



CERTIFICATION STATEMENT

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF CONFORM TO THE CURRENT EDITION OF THE VILLAGE OF MORTON GROVE BUILDING AND ZONING CODE.

SIGNED: *Andrew R. Wang* DATE: 01/12/2026
ANDREW WANG
Illinois License Number: 001-015814 Exp: 11/30/2026



DRAWING LIST

T-1 TITLE SHEET & SITE PLAN

A-1 ARCH. GARAGE & PATIO FLOOR PLAN

A-2 GARAGE & PATIO ELEVATIONS

A-2.1 FRONT PORCH PLAN & ELEVATION

A-3 ELEC. GARAGE PLAN, ROOF PLAN & DETAILS

A.W.
02.09.26

CONSTRUCTION DATA

III-B

ZONING DATA

R-1

APPLICABLE BUILDING CODES

2018 Addition International Building Code plus local amendments
2018 Addition International Existing Building Code plus local amendments
2018 Addition International Residential Code plus local amendments
2018 Addition International Fuel Gas Code plus local amendments
Illinois 2014 Plumbing Code plus local amendments
2011 Addition National Electrical Code plus local amendments
2018 Addition International Fire Prevention Code plus local amendments
The 2024 International Energy Conservation Code, the most recent version of the ICC energy code as adopted by the State of Illinois

TITLE SHEET
SITE PLAN & NOTES

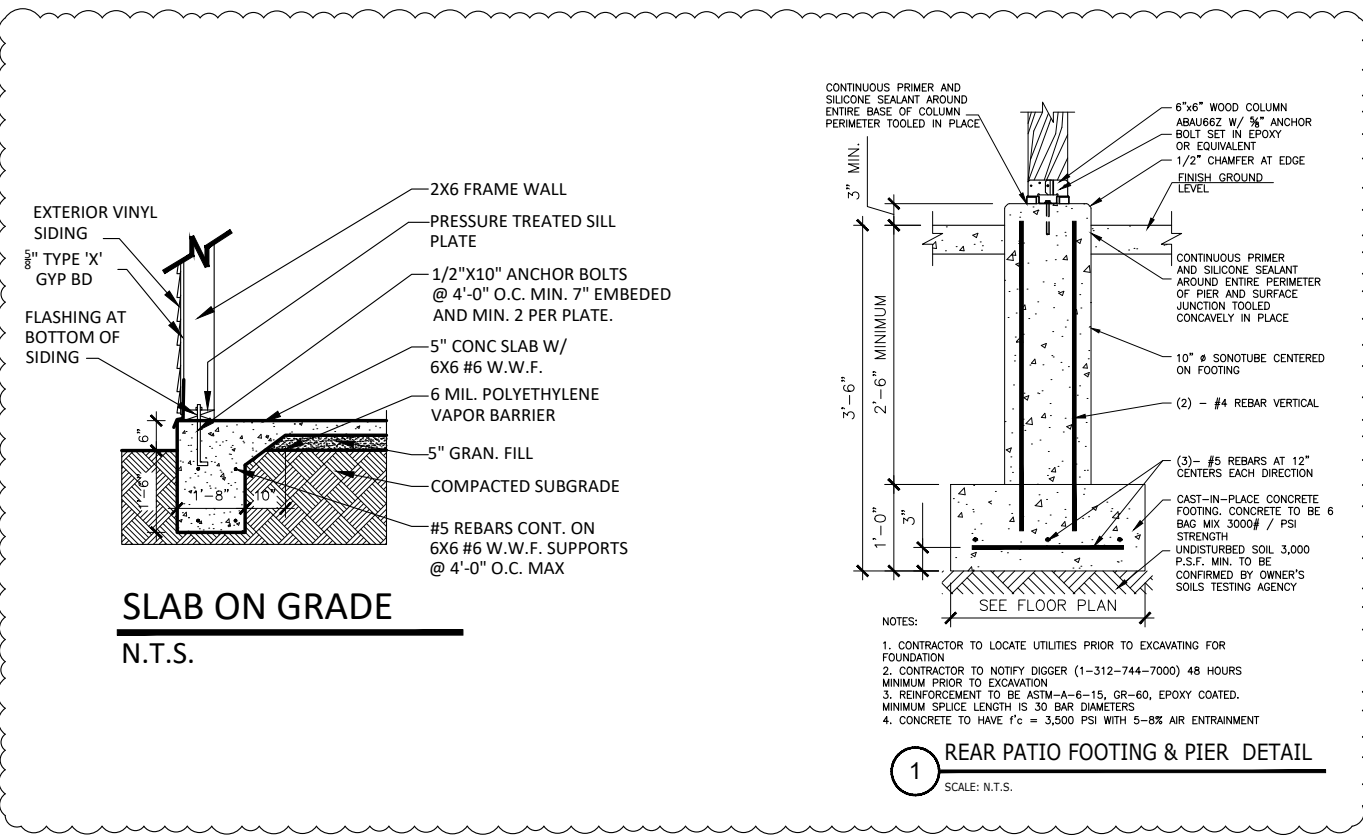
9024 LINDER AVE.
MORTON GROVE, IL. 60053

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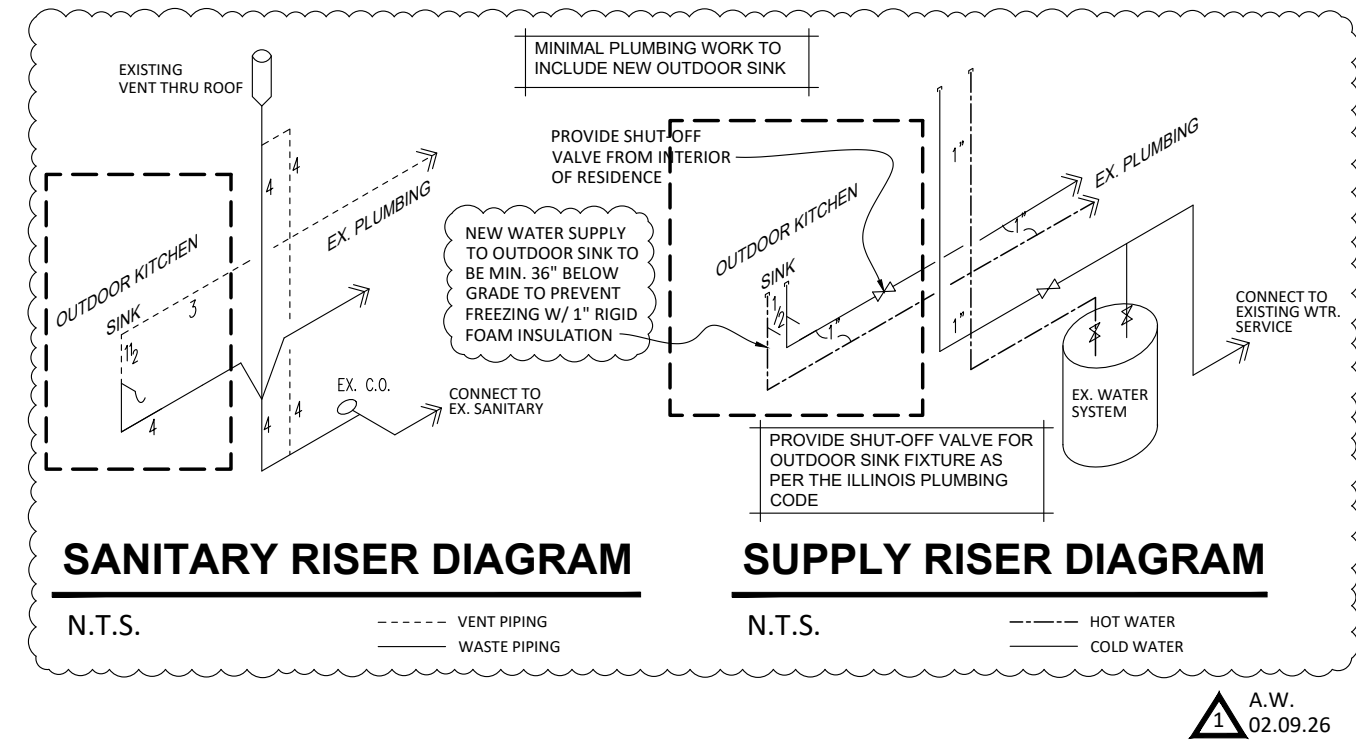
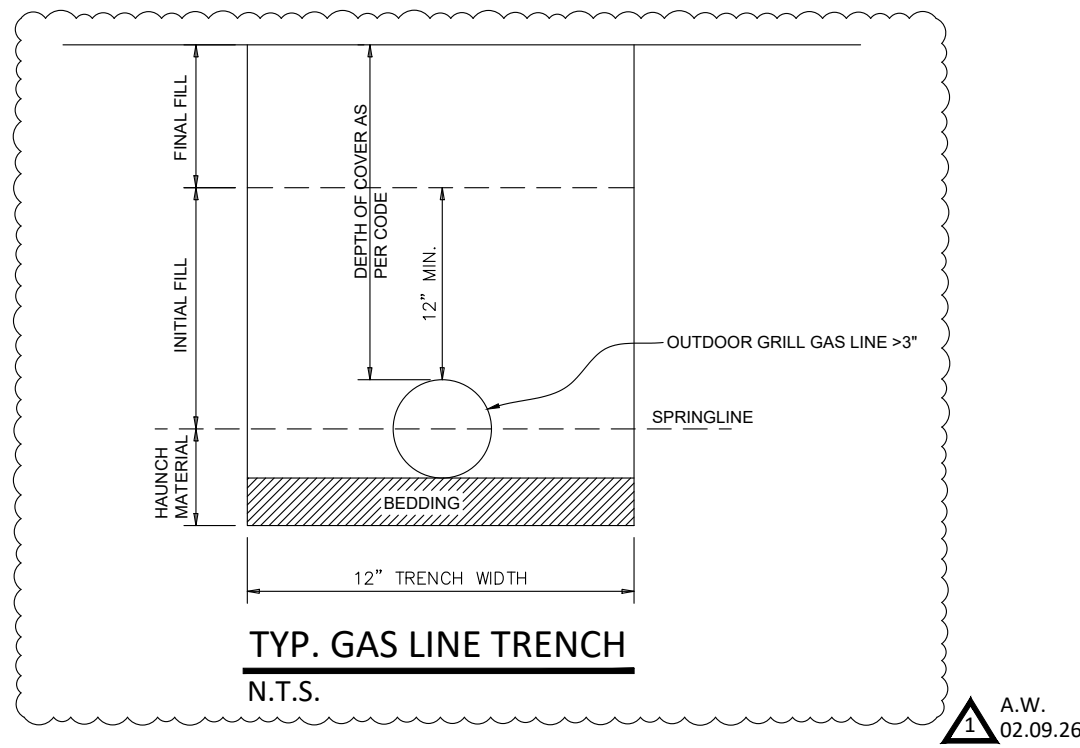
DATE: 01.12.26
DRAWN BY: C.G.
CHECKED BY: A.W.

SHEET

T-1



A.W.
02.09.26



SAFETY & LIABILITY NOTICE

THE ARCHITECT HAS NO RESPONSIBILITY FOR SAFETY PROGRAMS OR PROCEDURES, AND HAS NO RIGHT TO STOP ANY WORK. JOBSITE SAFETY IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS.

ARCHITECT
ANDREW WANG

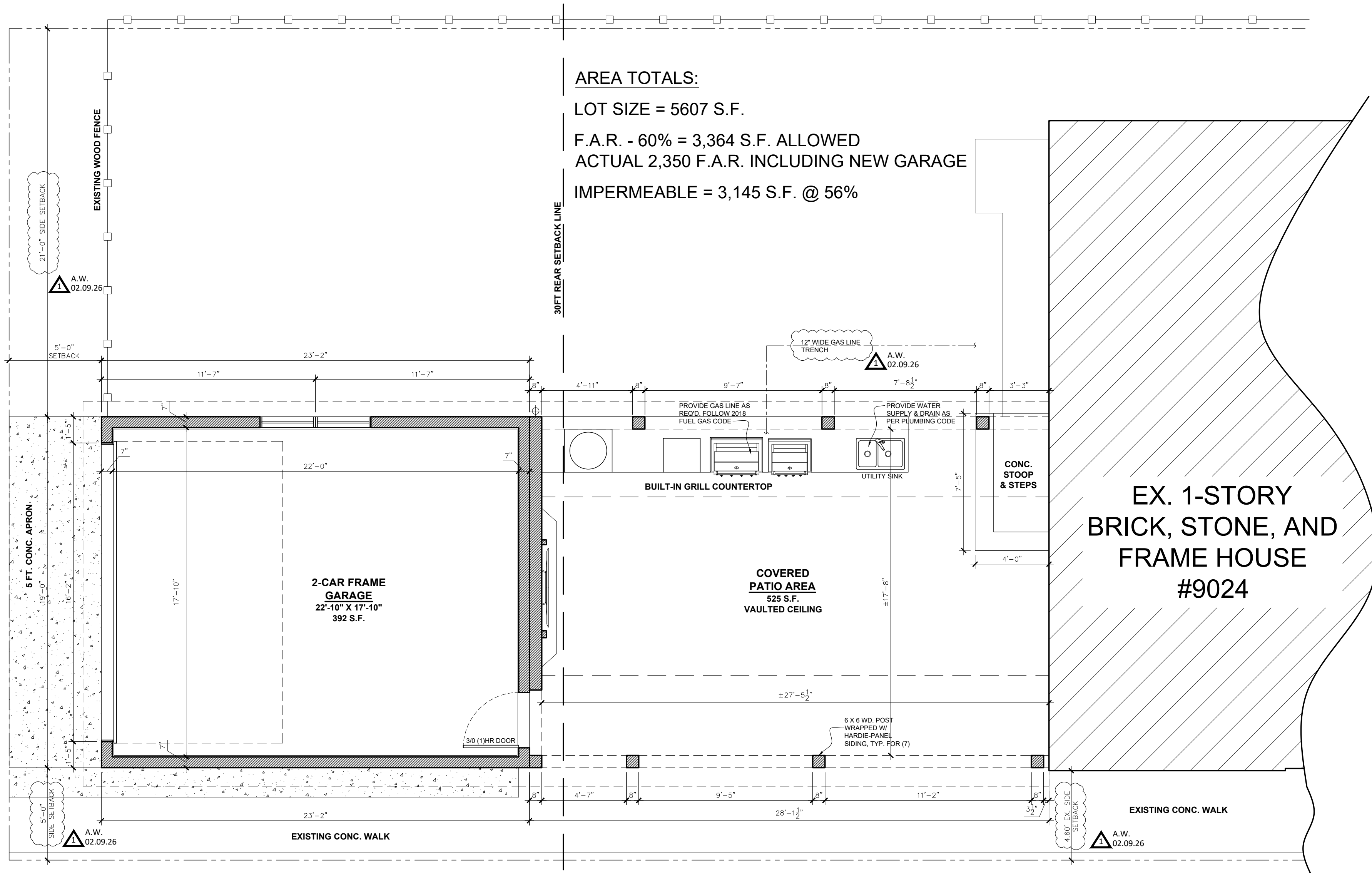
5756 N. ROGERS AVE.
CHICAGO, IL 60646
773.904.7560



PROPOSED GARAGE & PATIO FLOOR PLAN
9024 LINDER AVE.
MORTON GROVE, IL. 60053

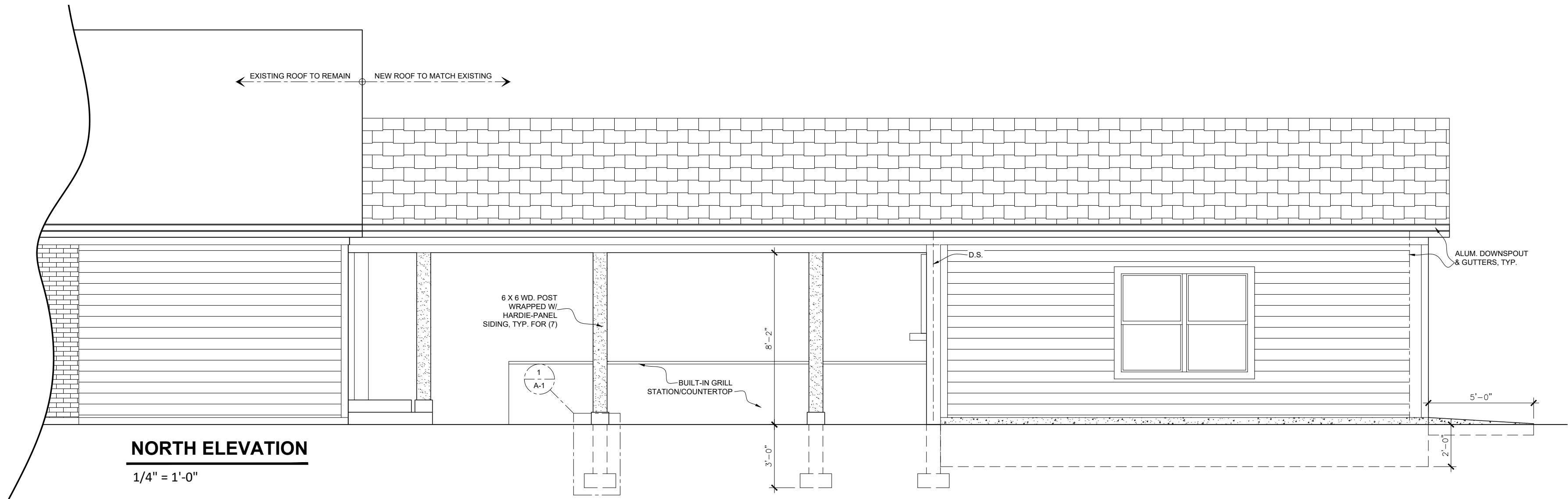
1	02.09.26
2	
3	
DATE:	01.12.26
DRAWN BY:	C.G.
CHECKED BY:	A.W.
SHEET	

A-1



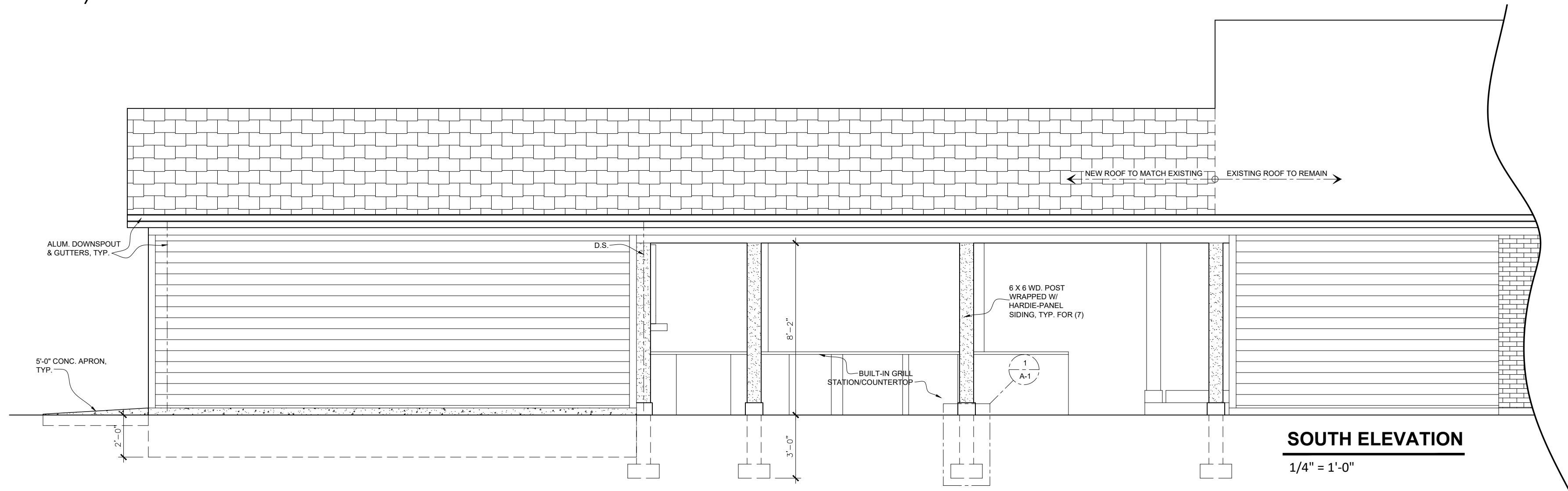
ARCH. GARAGE & PATIO FLOOR PLAN

1/4" = 1'-0"



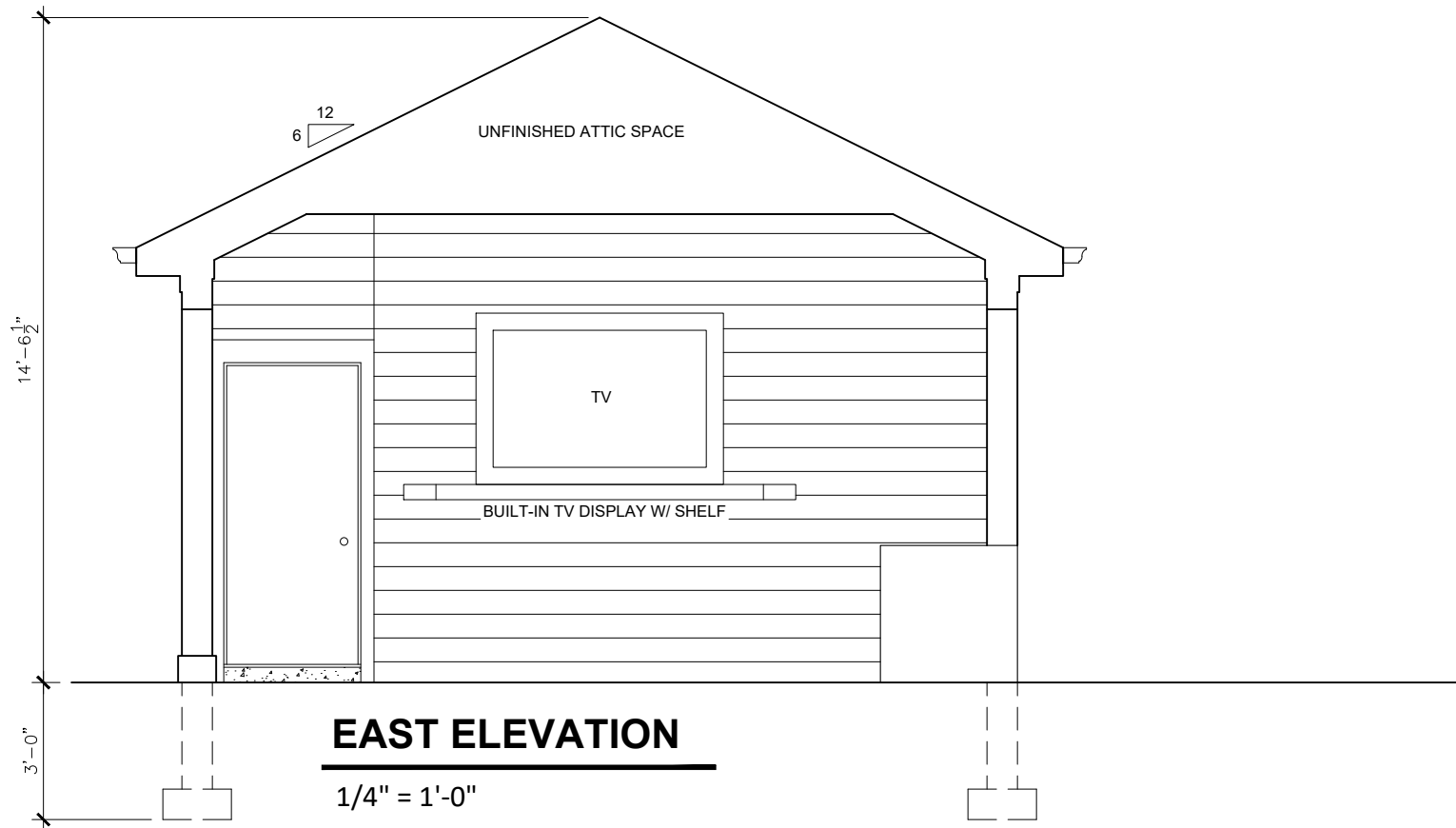
NORTH ELEVATION

1/4" = 1'-0"



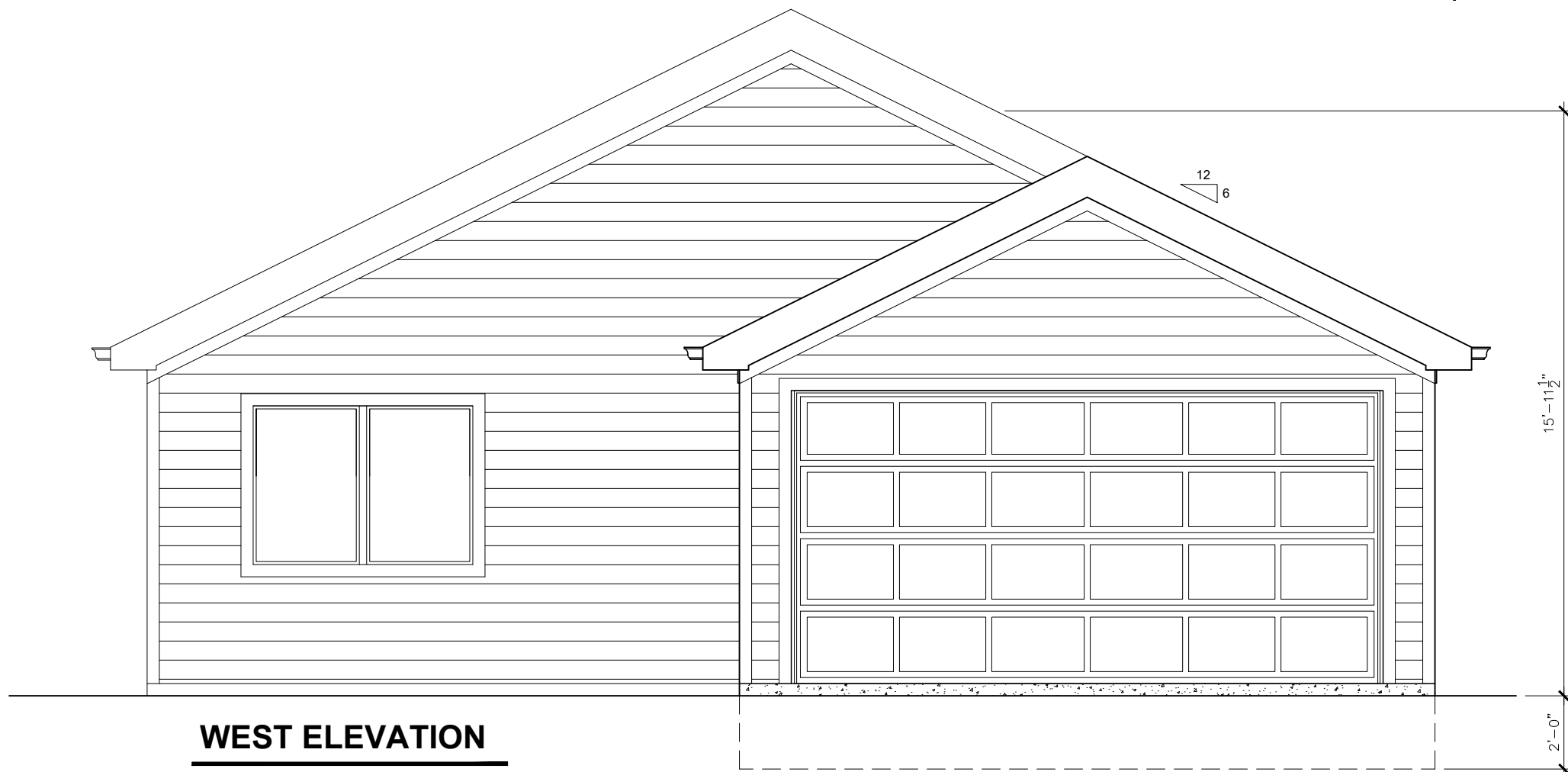
SOUTH ELEVATION

1/4" = 1'-0"



EAST ELEVATION

1/4" = 1'-0"



WEST ELEVATION

1/4" = 1'-0"

SAFETY & LIABILITY NOTICE

THE ARCHITECT HAS NO RESPONSIBILITY FOR SAFETY PROGRAMS OR PROCEDURES, AND HAS NO RIGHT TO STOP ANY WORK. JOBSITE SAFETY IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS.

ARCHITECT
ANDREW WANG

5756 N. ROGERS AVE.
CHICAGO, IL 60646
773.904.7560



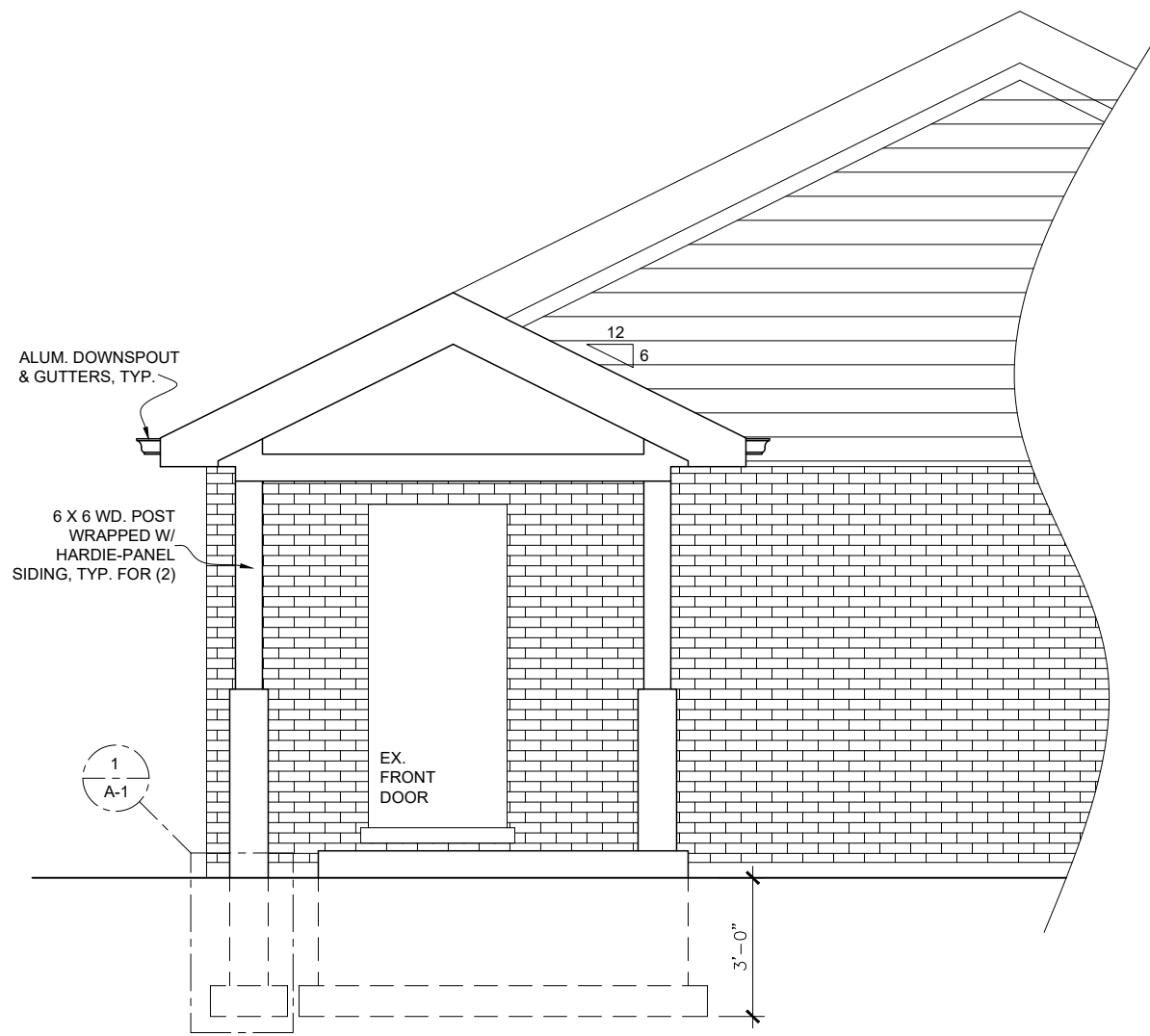
GARAGE & PATIO ELEVATIONS
9024 LINDER AVE.
MORTON GROVE, IL. 60053

1	02.09.26
2	
3	

DATE: 01.12.26
DRAWN BY: C.G.
CHECKED BY: A.W.

SHEET

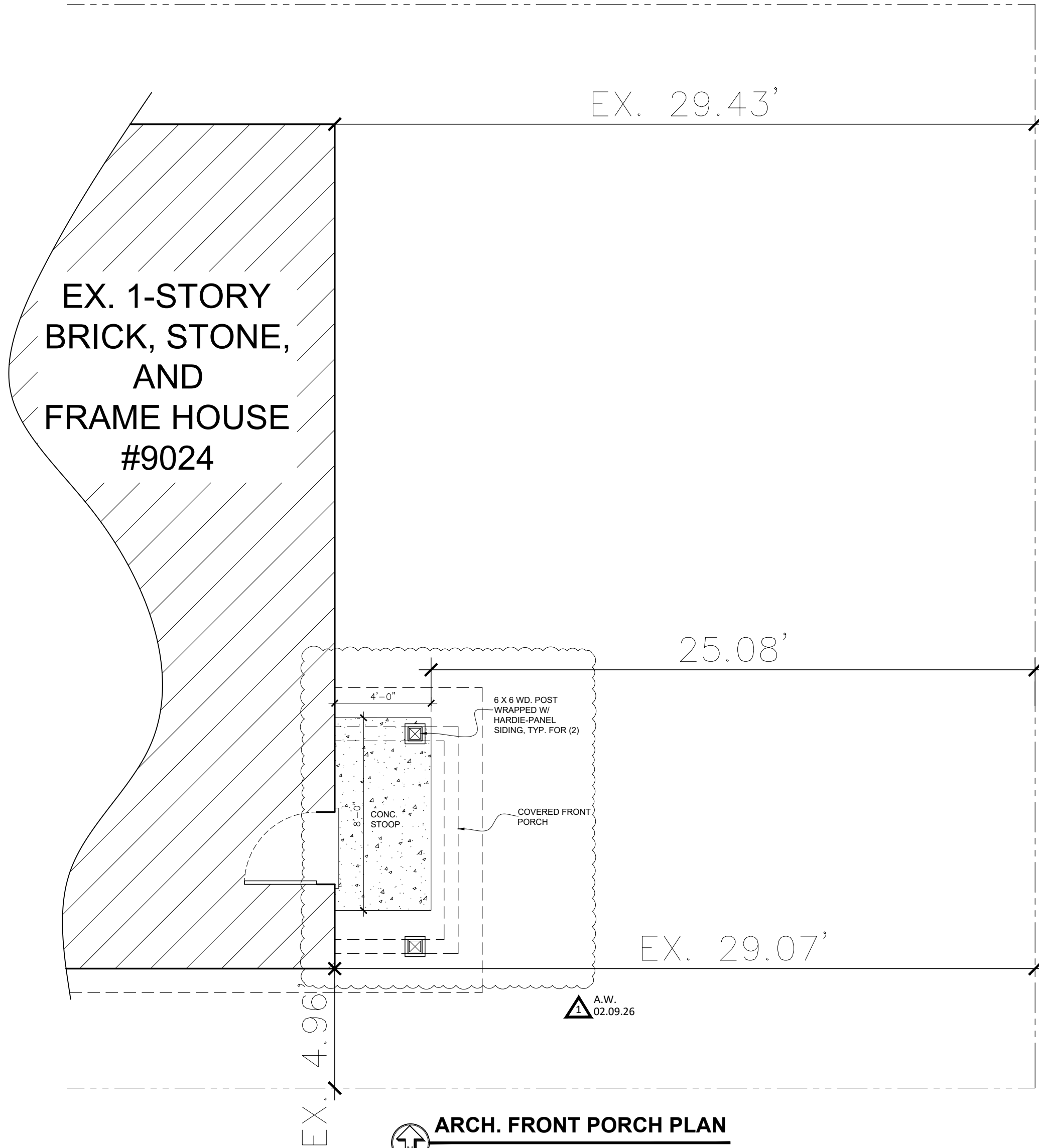
A-2



FRONT PORCH ELEVATION

1/4" = 1'-0"

A.W.
02.09.26



ARCH. FRONT PORCH PLAN

1/4" = 1'-0"

A.W.
02.09.26

SAFETY & LIABILITY NOTICE

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**ARCHITECT
ANDREW WANG**

5756 N. ROGERS AVE.
CHICAGO, IL 60646
773.904.7560



FRONT PORCH PLAN & ELEV.

9024 LINDER AVE.
MORTON GROVE, IL. 60053

1 A.W. 02.09.26

2

3

DATE: 01.12.26

DRAWN BY: C.G.

CHECKED BY: A.W.

SHEET

A-2.1

WALL LEGEND	
TYPE	NOTE
	VINYL SIDING ON 1/2" EXT. PLYWD. W/ HOUSE WRAP ON OUTBOARD AND 6 MIL VAPOR BARRIER ON INBOARD SIDE, 2X6 @ 16" OC STUDS, 5/8" TYPE "X" GYP BD @ INTERIOR
	EXPOSED VAPOR BARRIER SHALL HAVE A FLAME SPREAD INDEX OF 25 OR LESS AND A FLAME SPREAD INDEX OF 450 OR LESS

DOOR SCHEDULE					
MARK	WIDTH	HEIGHT	DOOR	FRAME	NOTE
1	16'-0"	8'-0"	HC/M	HM	OVERHEAD DOOR

- NOTES:
- ALL DOORS ARE NEW UNLESS NOTED OTHERWISE.
 - ALL DOORS TO BE KEYLESS IN THE DIRECTION OF EGRESS.
 - ALL GLAZED DOORS AND ANY GLAZED PANEL MORE THAN 18 INCHES IN WIDTH IMMEDIATELY ADJACENT TO ANY DOOR TO BE SAFETY GLAZED WITH SAFETY GLAZING MATERIALS.

WINDOW SCHEDULE					
MARK	WINDOW #	ROUGH WINDOW OPENING WIDTH	ROUGH WINDOW OPENING HEIGHT	GLASS SQ. FT.	VENT SQ. FT.
A	NEW	5'-0"	5'-0"	23.00	11.5

- NOTES:
- NEW WINDOWS SYSTEMS TO BE MIN. 24" A.F.F.; TEMPERED GLASS REQUIRED WHEN WINDOW IS BELOW 24" A.F.F.

STRUCTURAL DESIGN CRITERIA

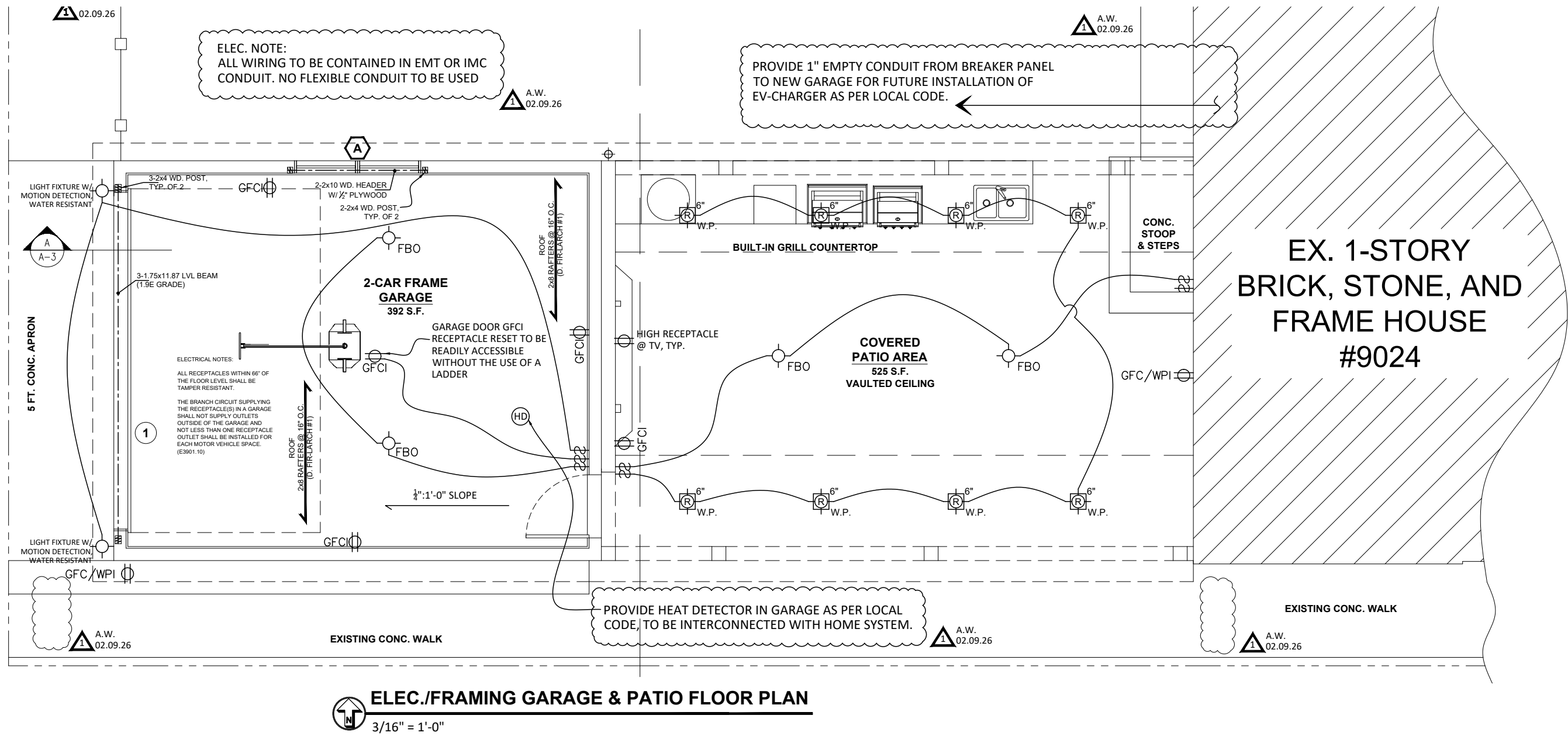
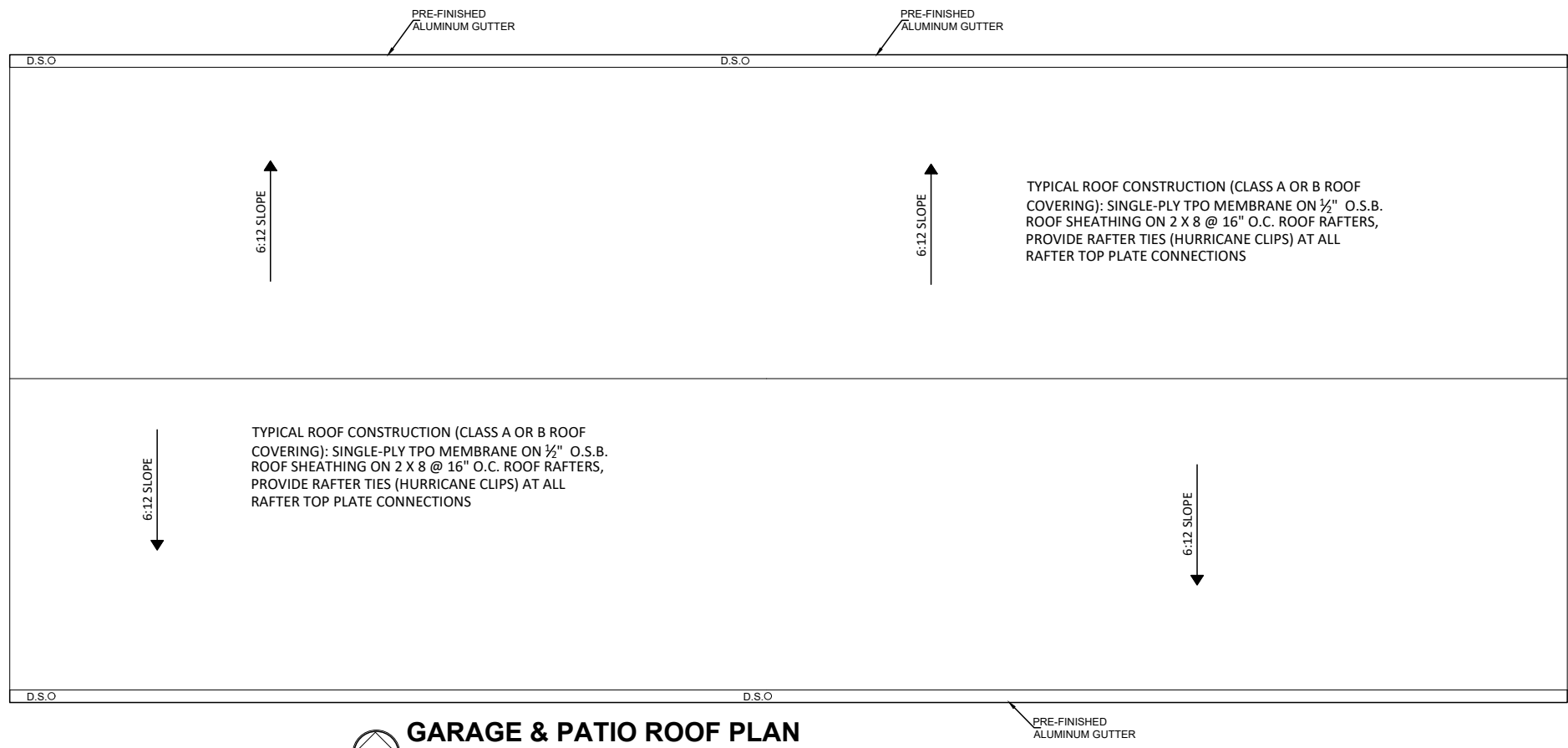
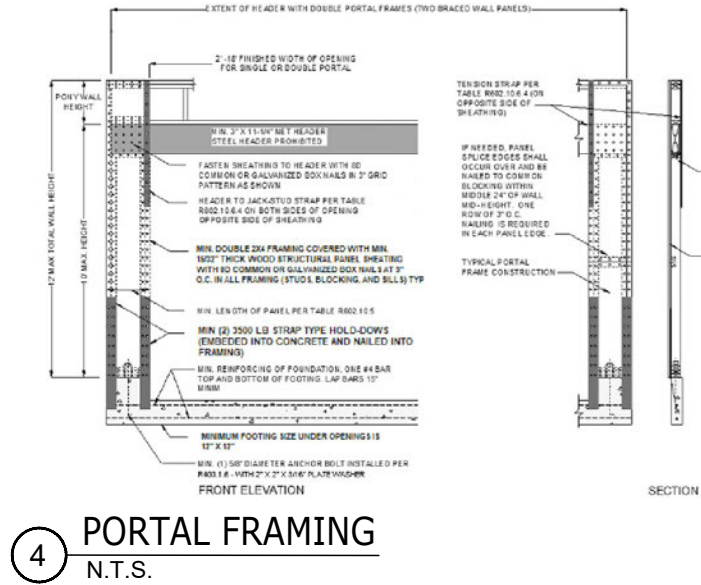
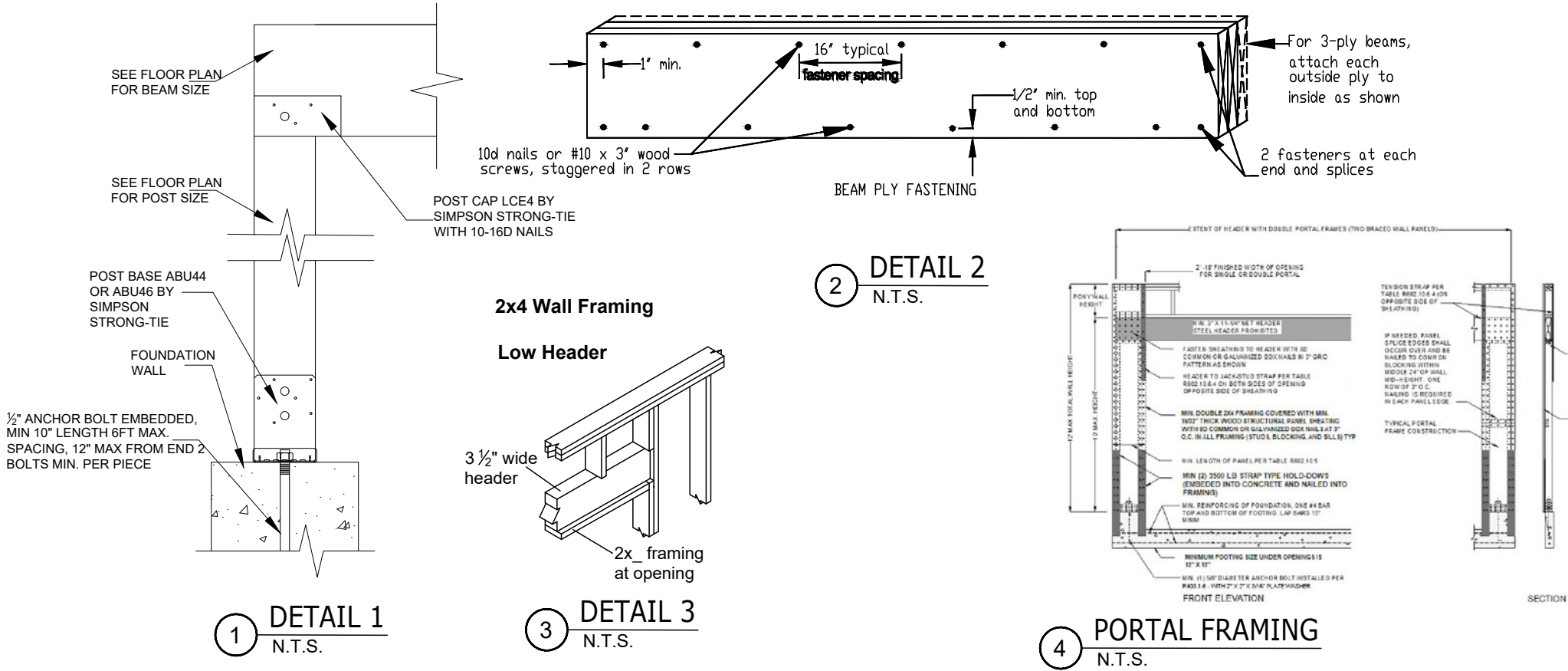
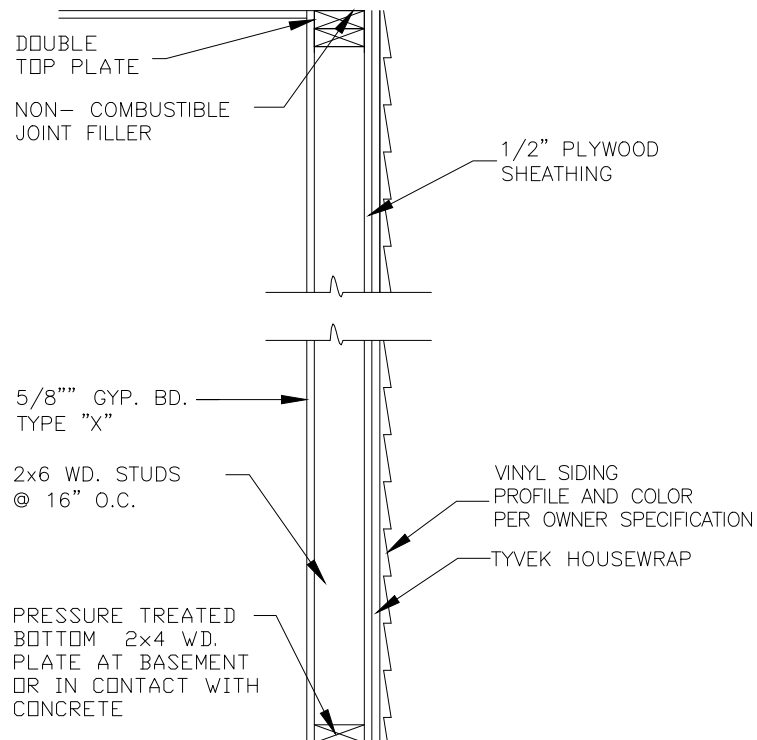
- ROOF: SNOW LOAD 30PSF, WIND UPLIFT LOAD 20PSF.
- FLOOR: LIVE LOAD 40PSF + 20PSF DEAD LOAD.
- FLOOR ON PORCH, DECK AND BALCONY: LIVE LOAD 60PSF + 10PSF DEAD LOAD.
- NEW LUMBER: DOUGLAS FIR-LARCH #2 OR BETTER. POST LUMBER: DOUGLAS FIR-LARCH #2 OR BETTER. EXISTING LUMBER: HEM-FIR #2.
- SOIL BEARING: 1,500PSF, CONCRETE: 3,500PSF @ 28 DAYS.
- STAIR:
 - 100 PSF UNIFORM (LL)
 - 300 LB. CONCENTRATED
- RAILING:
 - HANDRAILS: 50 PLF VERTICAL AND HORIZONTAL UNIFORM 200 LB. CONCENTRATED
 - GUARDRAILS: 100 PLF VERTICAL AND HORIZONTAL UNIFORM 300 LB. CONCENTRATED
 - INFILL: 200 LB ON ONE FT. SQ.

NOTE: STAIRWAY & BALCONY RAILING DESIGNED TO RESIST SIMULTANEOUS VERTICAL AND HORIZONTAL THRUST OF 50PLF, WITH APPLIED POINT LOAD OF 200 CONCENTRATED LOAD IN ANY DIRECTION AT ANY POINT ALONG TOP RAIL.

9. PROJECTING ELEMENTS, ALL CANOPIES, BALCONIES AND PARAPETS SHALL BE DESIGNED AND CONSTRUCTED TO WITHSTAND WIND PRESSURES IN ANY DIRECTION EQUAL TO 200 PERCENT OF 25 POUNDS PER SQUARE FOOT.

WOOD IS REQUIRE TO BE TREATED AND ALL METAL CONNECTORS TO BE HOT DIP GALVANIZED

*IN ADDITION TO THE ACTUAL WEIGHTS OF ALL PERMANENTLY ATTACHED BUILDING COMPONENTS AND FINISHES, THE STRUCTURE SHALL BE DESIGNED TO SUPPORT THE CODE'S PRESCRIBED MINIMUM LIVE LOADS.



SAFETY & LIABILITY NOTICE

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ARCHITECT
ANDREW WANG

5756 N. ROGERS AVE.
CHICAGO, IL 60646
773.904.7560



ELEC/FRAMING GARAGE & PATIO FLOOR PLAN & DETAILS

9024 LINDER AVE.
MORTON GROVE, IL. 60053

1	02.09.26
2	
3	

DATE: 01.12.26
DRAWN BY: C.G.
CHECKED BY: A.W.

SHEET

A-3

PLAT OF SURVEY

OF

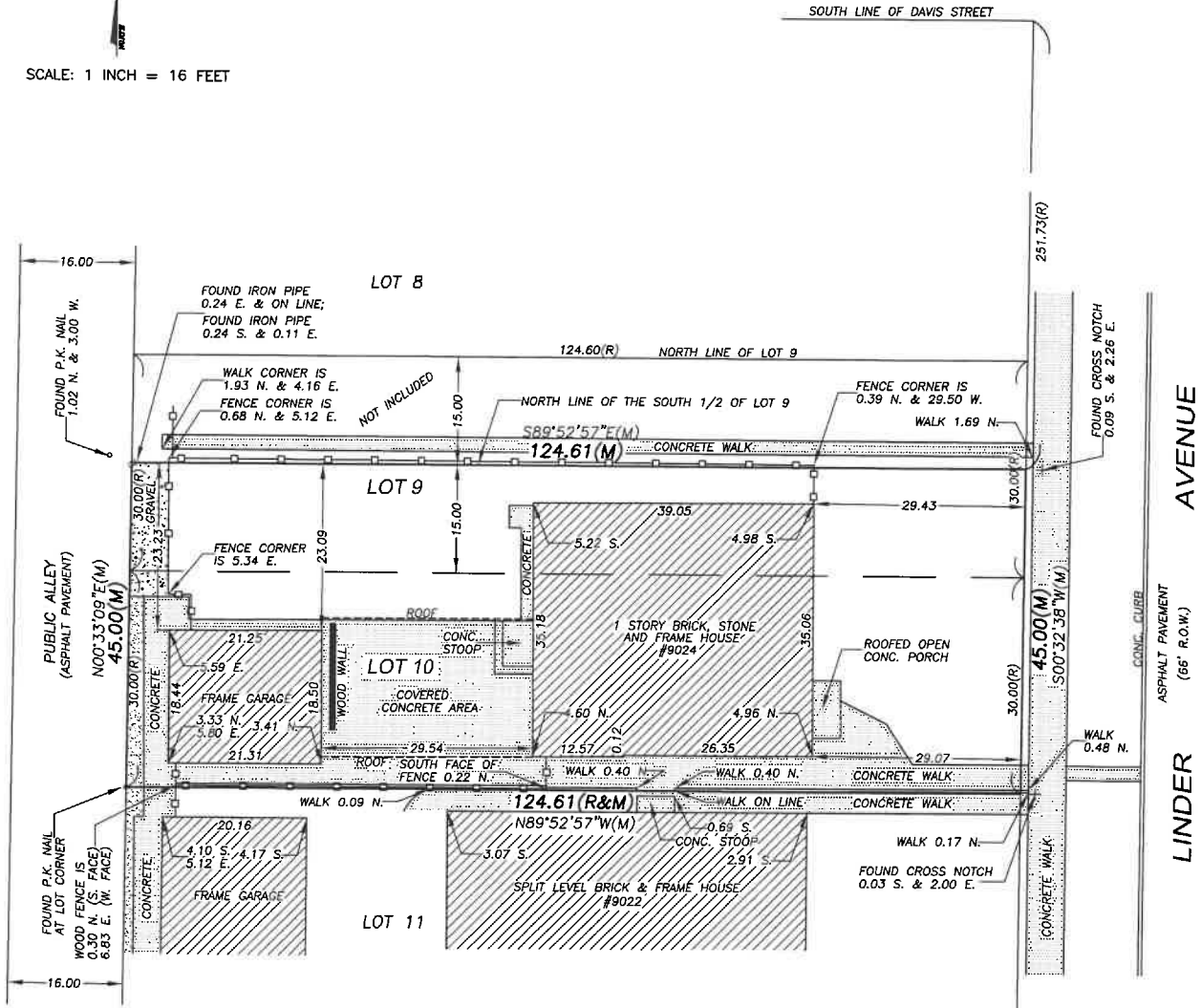
LOT 10 AND THE SOUTH HALF OF LOT 9 IN BLOCK 4 IN NORTHSIDE REALTY COMPANY'S DEMPSTER "L" TERMINAL FIFTH ADDITION IN THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 16, TOWNSHIP 41 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT RECORDED AUGUST 28, 1925 AS DOCUMENT NUMBER 9019508, IN COOK COUNTY, ILLINOIS.

PIN: 10-16-310-064-0000

TOTAL LAND AREA: 5,607 SQ.FT.

COMMONLY KNOWN AS: 9024 UNDER AVENUE, MORTON GROVE, ILLINOIS 60053

SCALE: 1 INCH = 16 FEET



BLOCK 4

LEGEND:

(R) = Subdivision Record
(M) = Measured
(D) = Deed
N. = North
S. = South
W. = West
E. = East
NW'ly = Northwestern
NE'ly = Northeast
SW'ly = Southwest
SE'ly = Southeast
Conc. = Concrete
Wood Fence =
Chain Link Fence = x - x - x
Iron Fence =

ORDER NO.: 25-219

ORDERED BY: DORINA MARCUS

PREPARED BY:

GEODETIC SURVEY, LTD.
PROFESSIONAL DESIGN FIRM NO. 184-004394
CONSTRUCTION & LAND SURVEYORS
200 WAUKEGAN ROAD, GLENVIEW, IL 60025
TEL. (847) 904-7690; FAX (847) 904-7691

GENERAL NOTES:

-ACAD FILE WILL NOT BE RELEASED UNDER THIS CONTRACT.
-FOR EASEMENTS, BUILDING LINES AND OTHER RESTRICTIONS NOT SHOWN ON THE PLAT OF SURVEY REFER TO YOUR ABSTRACT, DEED, TITLE POLICY, CONTRACT AND LOCAL BUILDING LINE/SETBACK REGULATIONS.
-COMPARE ALL POINTS BEFORE BUILDING AND AT ONCE REPORT ANY DISCREPANCIES, WHICH YOU MAY HAVE FOUND, TO THIS OFFICE, BEFORE DAMAGE IS DONE.
-DIMENSIONS ARE SHOWN IN FEET AND DECIMALS AND ARE NOT TO BE ASSUMED FROM SCALING.
-BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN AND ARE USED TO DENOTE ANGLES ONLY.
-THE LEGAL DESCRIPTION NOTED ON THIS PLAT WAS PROVIDED BY THE CLIENT AND FOR ACCURACY SHOULD BE COMPARED WITH DEED AND/OR TITLE INSURANCE POLICY.

STATE OF ILLINOIS
COUNTY OF COOK SS

THIS IS TO CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS OF PRACTICE APPLICABLE TO BOUNDARY SURVEYS.

FIELD WORK COMPLETED: OCTOBER 24, 2025

DATED THIS 31st DAY OF OCTOBER, 2025.

BY
PROFESSIONAL ILLINOIS LAND SURVEYOR NO.3000
LICENSE EXPIRES 11/30/2026



To: Chairperson Kintner and Members of the Zoning Board of Appeals

From: Anne Ryder Kirchner, Planner/Zoning Administrator
Zoe Heidorn, Director of Community and Economic Development

Date: July 14, 2026

Re: **ZBA 26-09 – 9118 Menard Avenue (10-17-403-048-0000)**
Request for variation from Section 12-2-6:G to allow a window well in a required side yard.

STAFF REPORT

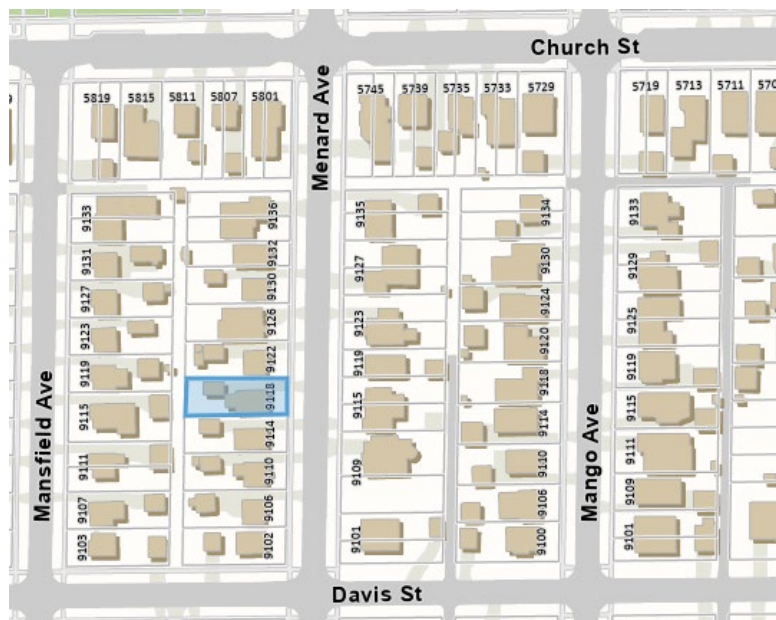
Public Notice

The Village of Morton Grove provided public notice for the July 21, 2026, Zoning Board of Appeals public hearing for ZBA 26-09 in accordance with the Unified Development Code. The *Morton Grove Champion* published a public notice on June 25, 2026. The Village mailed letters on June 25, 2026, notifying surrounding property owners, and placed a public notice sign on the subject property on, June 25, 2026.

Request Summary

Property Background

The subject property at 9118 Menard Avenue in Morton Grove, Illinois, is an interior lot on the west side of Menard Avenue located between Church Street and Davis Street. The 5,625-square-foot property is zoned R-2 Single Family Residence and is improved with a single-family residence and detached garage. Surrounding properties are also zoned within the R-2 District and are improved with single-family residences.



Subject Property Location Map

Application Overview

The applicant and owner, Tuck Decker, is requesting a waiver from Section 12-2-6:G to allow the installation of one window well within a required interior side yard that does not meet the requirements of a permitted encroachment. The proposed window well with a depth of three feet (3 ft.) and will encroach 1.8 feet into the five-foot (5 ft.) required side yard. Per the Unified Development code, window wells are not a permitted obstruction in a required side yard. They are permitted encroachments in required front, street side and rear yards.

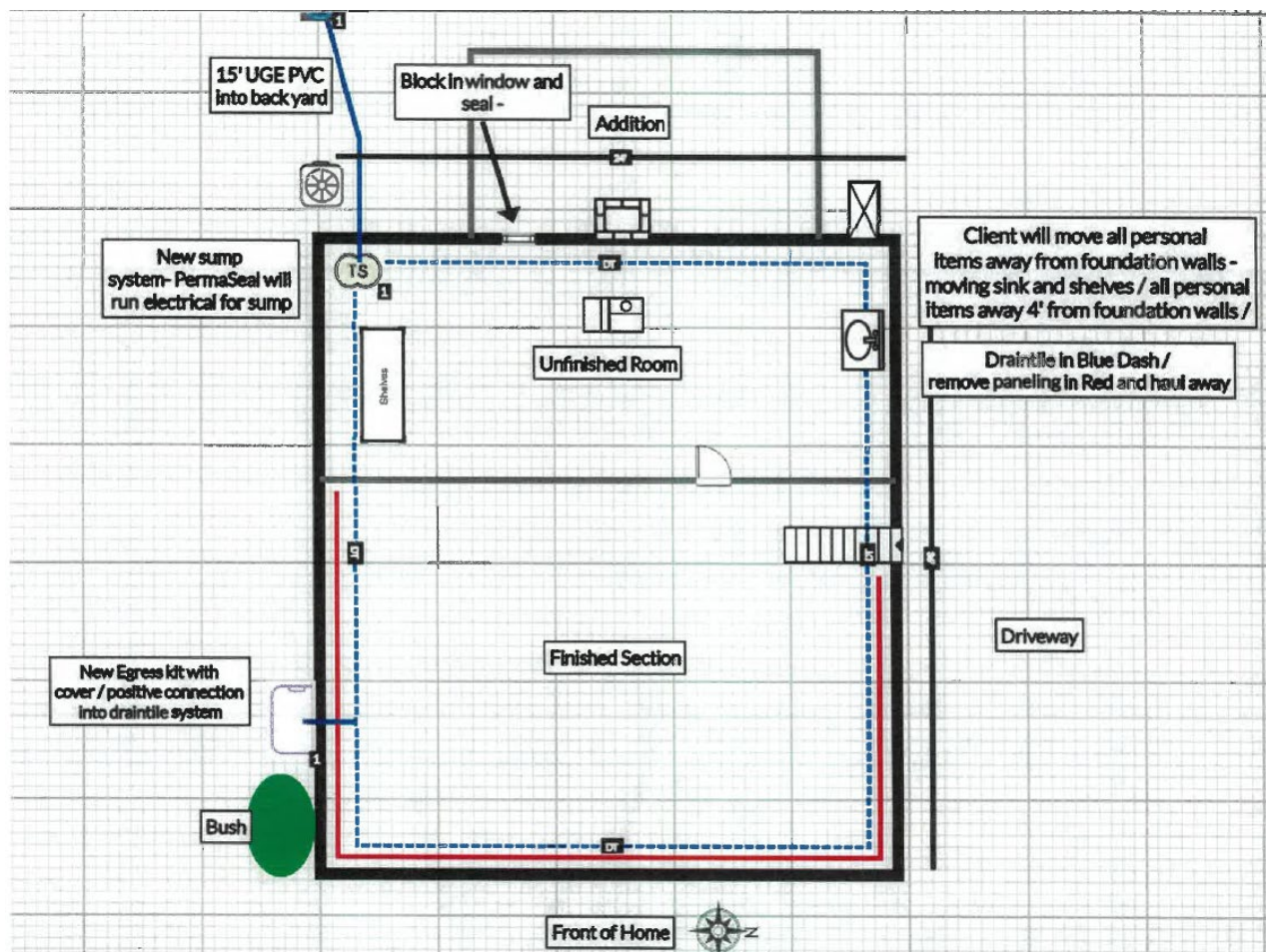
Requested Waivers

The following chart provides a summary of the requested waiver based on Unified Development Code requirements:

DIMENSIONAL CONTROL	ORDINANCE REQUIREMENT	PROPOSED	REQUESTED VARIATION
Permitted Obstructions, Window Wells (12-2-6:G)	Not permitted in required interior side yard	Proposed encroachment of 1.8 ft. into five-foot (5 ft.) interior side yard	<i>Variation to allow window well as a permitted obstruction and encroachment of 1.8 feet</i>

As shown in the table, the following waiver is required in order to approve installation of a window well as proposed by the applicant:

- Section 12-2-6:G Waiver to allow a window well as a permitted obstruction in a five-foot (5 ft.) required interior side yard and an encroachment of 1.8 feet.



Building Permit Location of Proposed Window Well



Subject Property Street View Showing Existing Basement Window

Discussion

The applicant submitted a building permit for basement waterproofing and installing a window well on the south side of the home for egress. A variation is required as the applicant did not wish to place the window well in a conforming location, citing interference with front yard landscaping and an existing radon system.

Variation Standards

The Zoning Board of Appeals can approve the application as presented, approve it with conditions, or deny the application based on the following standards, established in Section 12-16-3:A:

- a. Not Self-Imposed: The alleged difficulty or hardship is caused by this title and has not been created by any persons presently having an interest in the subject property.
- b. Nonmonetary Considerations: The circumstances or conditions are such that the strict application of the provisions of this title would deprive the applicant of a reasonable use of his land. Mere loss in value shall not justify a variation.
- c. Not Detrimental to Public Welfare: The granting of any variation is in harmony with the general purposes and intent of this title and will not be detrimental to the public welfare or to other property or improvements in the neighborhood.
- d. Not Detrimental to Neighborhood: The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the streets, increase the potential damage of fire, endanger the public safety, or alter the character of the neighborhood.

The applicant has provided their responses to these standards in the Variation Application.

Recommendation

Should the Board approve Case ZBA 26-09, staff recommends the following motion and conditions:

Motion to approve Case ZBA 26-09, a request for variation from Section 12-2-6:G to allow a window well within a required side yard, subject to the following conditions:

- 1) *The proposed window well shall be installed in accordance with the plans submitted by the applicant in the Variation Application dated 5/29/2026.*
- 2) *The applicant shall file all necessary plans and applications, for review and approval, and secure all necessary building permits prior to the commencement of installation.*

Attachments

Application and related materials (submitted by applicant)

Village of Morton Grove

Variation Application Materials

9118 Menard Avenue
Morton Grove, Illinois 60053

Requested variation: Section 12-2-6:G - window well in required interior side yard

Applicant / Owner	Tuck Decker
Project	Basement emergency egress window well and related drainage / waterproofing work
Contractor materials	Perma-Seal Basement Systems, Inc.; proposal / plan dated 5-27-26
Target ZBA meeting	July 21, 2026, subject to Village staff deeming the application complete
Draft date	May 29, 2026



1. Draft Application Form Responses

Use this section to fill the Village application form. Fields marked [confirm] should be verified before signing.

Application form fields	
Case number	To be assigned by the Village.
Date application filed	05/29/2026
Applicant name	Tuck Decker
Applicant address	9118 Menard Avenue
Applicant city / state / zip	Morton Grove, IL 60053
Applicant phone	(312) 330-0222
Applicant email	[REDACTED]
Applicant relationship to property owner	Property owner & resident
Property owner information	Same as applicant.
Common address of property	9118 Menard Avenue, Morton Grove, IL 60053
PIN	10-17-403-048-0000
Property square footage	5,625 (land)
Property zoning district	[Confirm with Village Community Portal / staff]
Property current use	Single-family detached residence
Requested Code section(s)	Morton Grove Unified Development Code Section 12-2-6:G

Purpose of requested variation

Applicant requests a variation from Section 12-2-6:G to allow installation of an emergency egress window well within the required interior side yard. The egress window well is part of basement egress, drainage, and waterproofing work. The proposed side-yard location is requested because a front-wall installation is constrained by established front landscaping, the concrete front entry steps/walkway, the front facade/window arrangement, and an existing radon system/front pipe location. The requested variation is not a request to waive life-safety, drainage, or building permit requirements. The window, well, ladder, cover, and drainage connection will be installed under approved permit plans.

Requested final wording for the application form

Applicant requests a variation from Section 12-2-6:G to allow installation of an emergency egress window well within the required interior side yard. The egress window well is part of basement egress, drainage, and waterproofing work. The proposed side-yard location is requested because a front-wall installation is constrained by established front landscaping, the concrete front entry steps/walkway, the front facade/window arrangement, and an existing radon system/front pipe location. The requested variation is not a request to waive life-safety, drainage, or building permit requirements. The window, well, ladder, cover, and drainage connection will be installed under approved permit plans.

2. Application Narrative / Cover Letter

To:	Village of Morton Grove, Department of Community and Economic Development
Property:	9118 Menard Avenue, Morton Grove, IL 60053
Re:	Variation request - Section 12-2-6:G - egress window well in required interior side yard

Applicant requests a variation from Section 12-2-6:G to allow a window well in the required interior side yard. The project is a basement emergency egress and drainage/waterproofing project. The side-yard well will be built to approved building permit plans and is not intended to reduce or avoid any building code, life-safety, drainage, or inspection requirement.

The side-yard location is requested because the front-wall alternative is physically and practically constrained. The front of the home includes established front landscaping, mature shrubs/evergreens, the concrete front entry steps and walkway, and an existing radon system/front pipe location that should be shown on the final plan. A front-wall installation would create substantially more disturbance to the front yard and facade than the side-yard location.

The requested variation allows the egress function to be provided while preserving the front streetscape and limiting site disturbance. The well is below grade or low-profile, will not increase building occupancy, will not create traffic or parking impacts, and will be reviewed through the normal building permit process for construction, drainage, and inspection requirements.

A similar Morton Grove matter, ZBA 25-02 for 7814 Lotus Avenue, was reviewed as a Section 12-2-6:G variation for a side-yard egress window well. The Board approved that request 6-0 subject to plans and permits. This application requests the same basic zoning treatment: review of the side-yard window well as a variation issue rather than a requirement that the egress be moved to the front wall.

Requested action

Approve a variation from Section 12-2-6:G to allow the proposed egress window well in the required interior side yard, subject to final permit review and construction in substantial accordance with the approved plans.

3. Responses to Standards for Variation

These responses track the four standards listed in the Village application packet.

a. Not Self-Imposed

The difficulty is caused by the zoning treatment of a window well in the required interior side yard as applied to this existing home and lot. The applicant is not seeking to expand the home footprint or create a new zoning impact. The project is intended to provide basement emergency egress and drainage/waterproofing. The front-wall alternative is constrained by existing site conditions: established front landscaping, concrete entry steps/walkway, front facade conditions, and an existing radon system/front pipe location. The side-yard location is the less disruptive location for the same egress purpose.

b. Nonmonetary Considerations

This request is not based on property value or cost alone. Strict application would force the egress well to the front wall even though that location would substantially disturb existing front landscaping and front entry conditions. It would also conflict with the existing front radon system/pipe area that should be shown on the final plans. The requested side-yard location allows reasonable use of the basement for safe emergency egress while avoiding unnecessary disturbance of the home frontage.

c. Not Detrimental to Public Welfare

The variation is consistent with public welfare because it supports installation of an emergency escape/rescue opening and related drainage work. The applicant is not requesting relief from egress, construction, drainage, or inspection requirements. The window, well, cover, ladder/steps, and drainage connection will be reviewed under the building permit process. The well will not create traffic, parking, noise, or public safety impacts.

d. Not Detrimental to Neighborhood

The proposed side-yard well will not impair light and air to adjacent property, increase street congestion, increase fire risk, endanger public safety, or alter neighborhood character. A side-yard well is a low-profile site improvement and will preserve the front yard and streetscape more effectively than a front-wall installation. Final placement, dimensions, and drainage will be shown on the revised plan and reviewed by Village staff.

4. Similar Morton Grove Case: ZBA 25-02, 7814 Lotus Avenue

Use this as local precedent for how the Village treated a side-yard egress window well. It is not a substitute for this property-specific variation showing.

Local precedent summary	
Case	ZBA 25-02
Property	7814 Lotus Avenue, Morton Grove, IL 60053
Issue	Basement waterproofing and side-yard egress window well.
Code section	Section 12-2-6:G
Staff framing	Window wells were not treated as a permitted obstruction in the required interior side yard; the matter was reviewed as a zoning variation.
Requested relief	Allow a window well as a permitted obstruction and encroachment into a five-foot required interior side yard.
Front-yard note	Staff noted a front-yard well below the bedroom window would be conforming.
Outcome	The ZBA approved the Section 12-2-6:G variation 6-0, subject to plans and permits.
Why it matters here	This supports treating the 9118 Menard request as a side-yard variation issue, not as a rule that an egress window must be installed on the front wall.

Suggested language if asked about precedent

This application is similar to ZBA 25-02 because both matters involve a window well for basement egress in a required interior side yard. In ZBA 25-02, Village staff identified the issue as a Section 12-2-6:G variation because the window well encroached into the required side yard. The Board approved that request subject to plans and permits. The same procedural approach is appropriate here.

5. Technical Materials and Site Constraints

Contractor / plan information already available

- Contractor: Perma-Seal Basement Systems, Inc.

- Prepared by: George Heller, Perma-Seal Basement Systems, Inc.
- Project address: 9118 Menard Avenue, Morton Grove, IL 60053.
- Egress kit listed in contractor materials: galvanized egress well kit, 49 in. wide x 36 in. projection x 60 in. deep.
- Window specification in contractor narrative: 40 in. high x 40 in. wide in-swing window, galvanized well sealed to foundation, 3-step ladder, and well drainage connection.
- Contractor scope also includes interior PVC drain tile, sump/electrical work, well duct drain, clear well cover, wall liner, and related basement waterproofing items.

Front-wall constraints to explain to staff / ZBA

- Established mature front landscaping, including shrubs/evergreens directly in the likely work area.
- Concrete front entry steps and front walkway adjacent to the likely work area.
- Front facade and existing large front window arrangement.
- Existing radon system/front pipe location in or near the front concrete/foundation area; contractor should add this to the final plan.
- A front-wall well would create more visible site disturbance than the requested side-yard well.

8. Exhibits

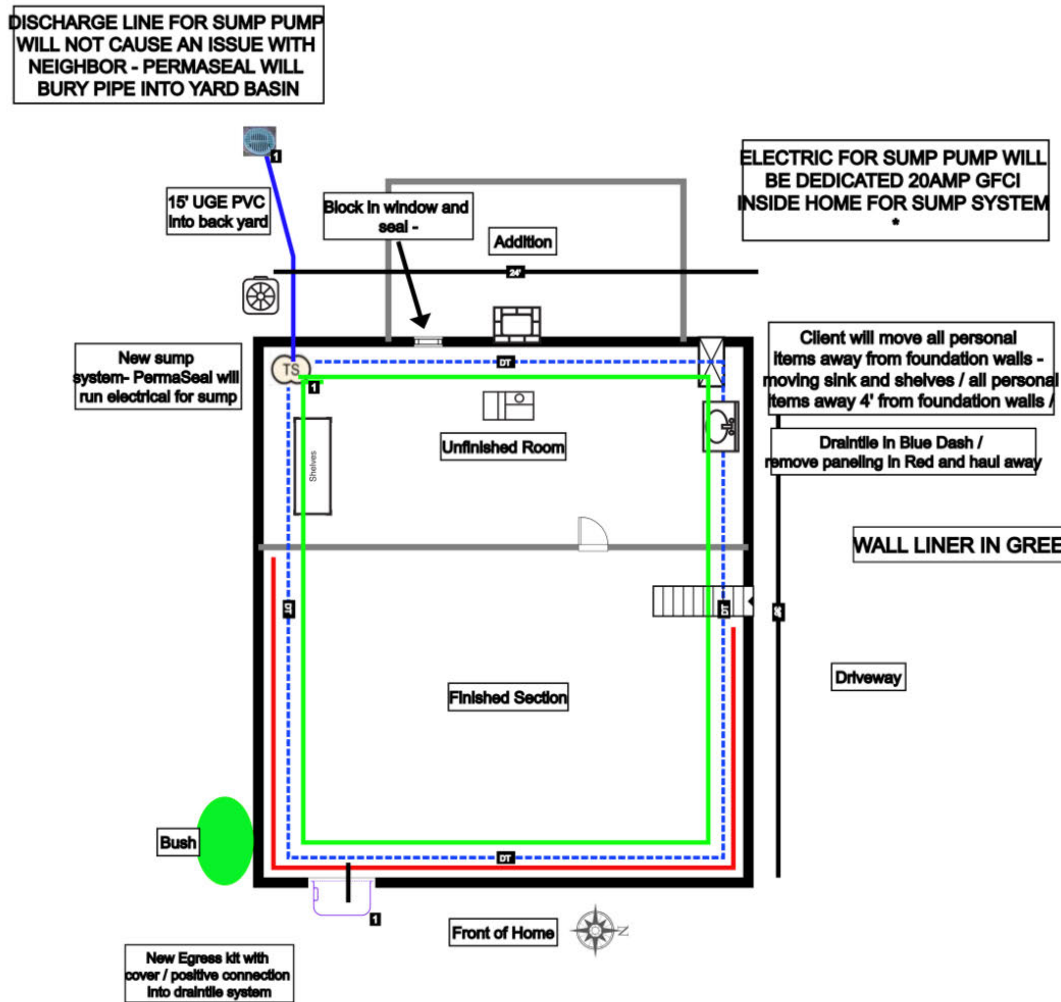
Exhibit A - Front conditions at 9118 Menard Avenue



Photo shows established front landscaping and the front entry/stoop/walkway area. Applicant reports an existing radon system/front pipe in the front foundation/concrete area that should be shown on the final plan.

Exhibit B - Contractor plan excerpt

Job Details



Type of Wall Poured Concrete
Sub-Floor System Full Perimeter System

Perma-Seal Basement Systems, Inc.
412 Rockwell Ct Burr Ridge IL 60527

Job Location
9118 Menard Avenue Morton Grove IL 60053

Page 3/15
5-27-26 (8)

Perma-Seal plan excerpt showing basement waterproofing/egress project notes. Final submittal should be revised or supplemented to show the requested side-yard well location, exact side-yard encroachment, and existing radon system/front pipe.

9. References Consulted

- Village of Morton Grove Variation Application Packet - standards, required materials, fee, and ZBA process.
- Perma-Seal Basement Systems, Inc. proposal / plan for 9118 Menard Avenue dated 5-27-26.
- Village of Morton Grove 2026 Plan Commission and Zoning Board of Appeals Review Schedule - July 21, 2026 ZBA meeting date, subject to complete application review.
- Village of Morton Grove ZBA Packet for March 18, 2025, Case ZBA 25-02, 7814 Lotus Avenue - side-yard egress window well variation from Section 12-2-6:G.
- Village of Morton Grove ZBA Minutes for March 18, 2025 - ZBA 25-02 approved 6-0 subject to plans and permits.
- Village of Morton Grove Building and Construction Codes page - Village enforces the 2018 International Residential Code plus local amendments for one- and two-family residences.
- Village of Morton Grove Zoning page - zoning district should be verified through the Community Portal or Village staff.

Reference links for internal use

Variation packet: uploaded MG_application_variation.pdf

Perma-Seal plan/proposal: uploaded Decker_Tuck_Morton Grove_IL_DONE-2.pdf

ZBA 25-02 packet: https://www.mortongroveil.org/wp-content/uploads/2025/03/ZBA_PACKET_250318.pdf

ZBA 25-02 minutes: https://www.mortongroveil.org/wp-content/uploads/2025/05/ZBA_minutes_25_18_03_MAR.pdf

2026 PC/ZBA review schedule: https://www.mortongroveil.org/wp-content/uploads/2025/12/PC_ZBA_review_schedule_2026.pdf

Zoning page: <https://www.mortongroveil.org/business-development/community-and-economic-development/zoning/>

Building codes page: <https://www.mortongroveil.org/business-development/building-and-construction-codes/>



VARIATION APPLICATION

Village of Morton Grove
Department of Community Development
6101 Capulina Avenue, Morton Grove, Illinois 60053
commdev@mortongroveil.org | 847-663-3063

Case Number: _____ Date Application Filed: _____

APPLICANT INFORMATION

Applicant Name: _____

Applicant Address: _____

Applicant City / State / Zip Code: _____

Applicant Phone: _____

Applicant Email: _____

Applicant Relationship to Property Owner: _____

Applicant Signature: _____

PROPERTY OWNER INFORMATION (IF DIFFERENT FROM APPLICANT)

Owner Name: _____

Owner Address: _____

Owner City / State / Zip Code: _____

Owner Phone: _____

Owner Email: _____

Owner Signature: _____

PROPERTY INFORMATION

Common Address of Property: _____

Property Identification Number (PIN): _____

Property Square Footage: _____

Property Zoning District: _____

Property Current Use: _____

APPLICATION INFORMATION

Applicant is requesting a variation from the following section(s) of the Morton Grove Unified Development Code:

Purpose of requested variation (attach as needed): _____

RESPONSES TO STANDARDS FOR VARIATION

Provide responses to the four (4) Standards for a Variation as listed in Section 12-16-3-A-2 of the Village of Morton Grove Unified Development Code. The applicant must present this information for the official record of the Zoning Board of Appeals. The Variation Standards are as follows:

- a. **Not Self-Imposed:** The alleged difficulty or hardship is caused by this title and has not been created by any persons presently having an interest in the subject property.

- b. **Nonmonetary Considerations:** The circumstances or conditions are such that the strict application of the provisions of this title would deprive the applicant of a reasonable use of their land. Mere loss in value shall not justify a variation.

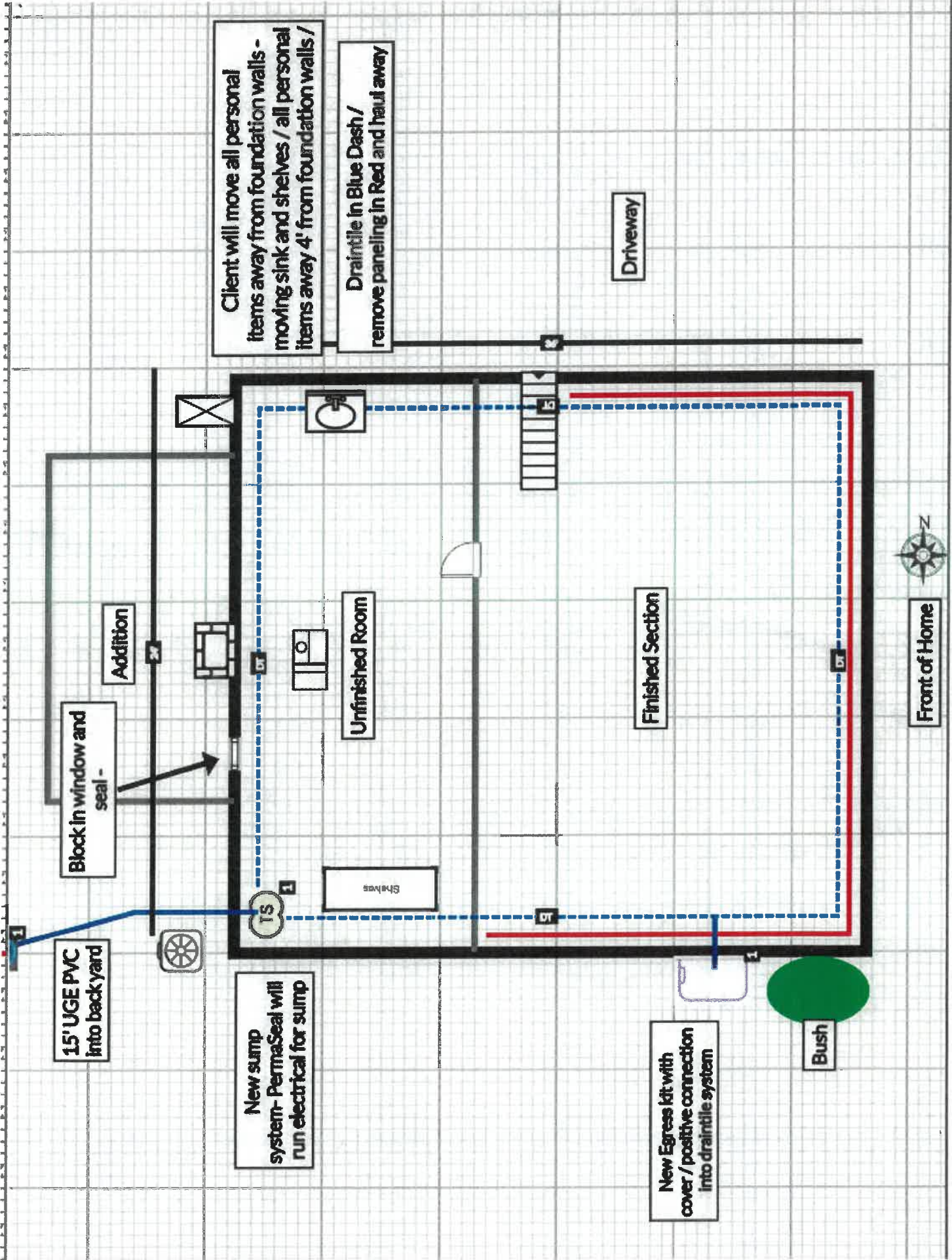
- c. **Not Detrimental to Public Welfare:** The granting of any variation is in harmony with the general purposes and intent of this title and will not be detrimental to the public welfare or to other property or improvements in the neighborhood.

- d. **Not Detrimental to Neighborhood:** The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the streets, increase the potential damage of fire, endanger the public safety, or alter the character of the neighborhood.

Signature: 

Printed: Tuck Decker (formerly Drace)

Date: 05/29/2026



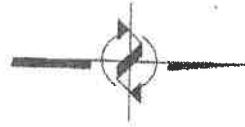
R.H. GRANATH
SURVEYING SERVICE, P.C.
PH: (708) 371-4478
FAX (708) 371-3922

PLAT OF SURVEY

of

LOT 30 AND THE SOUTH 1/2 OF LOT 31 IN BLOCK 1 IN DEWSTER TERRACE GARDENS FIRST ADDITION, BEING A SUBDIVISION OF THE EAST 1/2 OF THE NORTHWEST 1/4 OF SECTION 17, TOWNSHIP 41 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

R.H. GRANATH
SURVEYING SERVICE, P.C.
6006 W. 159th STREET
BUILDING B UNIT 1-SOUTH
OAK FOREST, ILL. 60462



SCALE 1"=20'

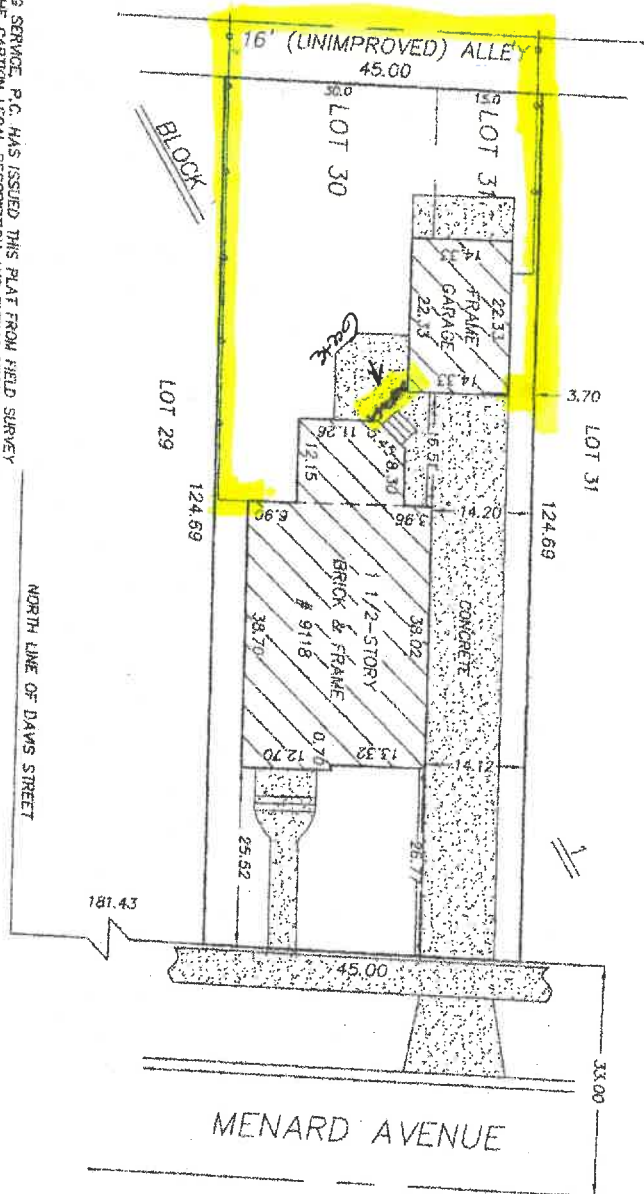


STATE OF ILLINOIS }
COUNTY OF COOK } SS

THIS IS TO CERTIFY THAT R.H. GRANATH SURVEYING SERVICE, P.C. HAS ISSUED THIS PLAT FROM FIELD SURVEY DATA OBTAINED AT THE PROPERTY INDICATED IN THE CAPTION LEGAL DESCRIPTION AND PUBLIC RECORDS, AND THAT THE FOREGOING IS A TRUE AND CORRECT REPRESENTATION OF THE SAME. THIS PLAT OF SURVEY CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS OF PRACTICE FOR A BOUNDARY SURVEY PER TITLE 68 CHAPTER 14 SUBCHAPTER 1.5, SECTION 1270.55 IN THE RULES FOR THE ILLINOIS PROFESSIONAL LAND SURVEYOR ACT. NO BOUNDARY CORNERS WERE SET DURING THIS FIELD SURVEY OF THE SUBJECT PROPERTY BY CLIENT AGREEMENT (ITEM 30 OF SAID AGREEMENT). ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS THEREOF.

STEVEN R. GRANATH, L.S., No. 3163
VALID ONLY IF EMBOSSED SEAL IS AFFIXED

COMPARE ALL DIMENSIONS BEFORE BUILDING AND REPORT ANY DISCREPANCIES AT
ONCE. REFER TO DEED OR TITLE POLICY FOR BUILDING LINES AND EASEMENTS.



DATE: JUNE 14, 2022
CLIENT: LAW OFFICE OF JAMES NICODEMUS
R.H.G. ORDER NO. MS 2022-06-036