



VILLAGE OF MORTON GROVE
Zoning Board of Appeals
FLICKINGER MUNICIPAL CENTER
6101 Capulina Avenue, Morton Grove, IL 60053
January 20, 2020 - 7:00P.M.
AGENDA

I. CALL TO ORDER

II. APPROVAL OF MINUTES OF: November 18, 2019

III. ITEMS TO BE CONTINUED

None

IV. PUBLIC HEARINGS

CASE: ZBA 20-01

APPLICANT: Wanda and Stanislaw Gajowniczek
9242 Shermer Road
Morton Grove, IL 60053

LOCATION: 9242 Shermer Road
Morton Grove, IL 60053

PETITION: Request for a waiver from Section 12-4-2:D of the Unified Development Code to allow a principal structure within a required side yard

V. OTHER BUSINESS

None

VI. CLOSE MEETING

All persons in attendance at the hearing shall have the opportunity to be heard.
All interested parties are invited to attend.

**MINUTES OF THE January 20, 2020
MEETING OF THE ZONING BOARD OF APPEALS
VILLAGE HALL 6101 CAPULINA, MORTON GROVE, IL 60053**

Pursuant to proper notice in accordance with the Open Meetings Act, the regular meeting of the Zoning Board of Appeals Commission was called to order at 7:00 pm. by Chairperson Pro Tem Kintner. Secretary Sheehan called the role.

Members of the Commission Present: Mohr, Kintner, Gillespie, Gabriel, Dorgan,
Khan

Commissioners Absent: Blonz

Village Staff Present: Zoe Heidorn, Zoning Administrator/Land
Use Planner

Trustees Present: Thill, Minx, Grear

Chairperson Pro Tem Kintner described the procedures for the meeting. The Village and the Applicant will present the case then anyone from the audience will be allowed to speak after the commission may ask questions of the applicant. After residents' comments, discussion and voting will take place.

Chairperson Pro Tem Kintner proceeded to seek approval of the November 18, 2019 minutes. Commissioner Dorgan-moved to approve the minutes of November 18, 2019. Commissioner Gabriel seconded the motion.

Chairperson Pro Tem Kintner called for the vote.

Commissioner Mohr voting	abstain
Commissioner Gillespie voting	aye
Commissioner Gabriel voting	aye
Commissioner Khan voting	abstain
Commissioner Dorgan voting	aye
Commissioner Kintner voting	aye

Minutes approved.

Chairperson Pro Tem Kintner called for the first case.

CASE ZBA 20-01

APPLICANT: Wanda and Stanislaw Gajowniczek
9242 Shermer Road
Morton Grove IL 60053

LOCATION: 9242 Shermer Road
Morton Grove, IL 60053

PETITION: Request for a waiver from Section 12-4-2D of the Unified Development Code to allow a principal structure within a required side yard.

Ms. Heidorn reviewed the application for a waiver to allow the reconstruction and expansion of an attached garage with a non-conforming interior side yard. Where 14 ft are required for combined side yards in an R1 single family residence district. The applicants are requesting a combined side yard of 12.66 ft. The principal structure currently combines a side yard setback of 12.96 ft which the applicants propose to reduce by 3.6 inches in order to provide a 13 ft interior clearance which is the standard for a single car garage. In 2010 and 2014 the ZBA approved a non-conforming setback of 3.17 ft from the yard in question. This was significantly less than the 6.61 ft being proposed at today's hearing. Neither project that was approved by the ZBA was constructed and since that time they have expired. The only issues that are identified are the existing non-conforming driveway within the front yard. Staff has included as a recommendation for approval that the driveway have demarcation of the abutting sidewalk. Under normal circumstances the driveway would be allowed to stay in place until further replacement.

The applicants, Wanda and Weronika Gajowniczek were sworn in.

Ms. Gajowniczek stated their wish was to leave the driveway as is because if it was cut or demarcated it could lead to further cracking.

Chairperson Pro Tem Kintner asked for questions from the Commissioners.

Commissioner Gabriel asked if the principal structure will remain the same. Ms. Gajowniczek stated the house will remain the same and just the garage will be rebuilt and the foundation will be replaced.

Chairperson Pro Tem Kintner asked if there is anything in the code regarding the cut or demarcation of a driveway. Ms. Heidorn replied this allows a sidewalk to abut to a driveway. The only code is that the driveway can be no wider than the garage.

Commissioner Gabriel asked if this driveway was a condition after the fact. Ms. Gajowniczek stated it was built in 2002.

Commissioner Mohr asked if there is a portion that is being removed from the south. Ms. Gajowniczek stated that is a small area that is filled with larger stones and may have concrete filled in that area.

Ms. Gajowniczek asked if the sidewalk going to the front door could be removed and filled in with grass. Ms. Heidorn stated that would be allowed by right.

Commissioner Gabriel stated digging into the concrete and causing ice to get into the cracks it would cause more problems. This driveway should be allowed as is. This should be an after the fact and not require demarcation or saw cutting. Ms. Heidorn said under normal circumstances it would be ok as is but because the applicant is asking for relief then it is being presented before the commission as it is best to point out the outstanding issues on the property. It can be removed from the conditions for approval.

Commissioner Gillespie agrees with striking that condition from the recommendations.

Chairperson Pro Tem Kintner asked if there was anyone present that wanted to be heard. There was no response.

Chairperson Pro Tem Kintner called for a motion to approve Case ZBA 20-01.

Commissioner Dorgan moved to approve Case ZBA 20-01, a request for a waiver

from Section 12-4-2D of the Unified Development Code to allow a principal structure within a required side yard, with the following conditions:

1. The attached garage shall be built in accordance with the plans submitted by the applicants in the Variation Application dated 12/09/2019; and
2. The applicant shall file all necessary plans and application for review and approval, and secure all necessary building permits prior to the commencement of construction.

Commissioner Gabriel seconded the motion.

Chairperson Pro Tem Kintner called for the vote.

Commissioner Gillespie voting	aye
Commissioner Khan voting	aye
Commissioner Mohr voting	aye
Commissioner Gabriel voting	aye
Commissioner Dorgan voting	aye
Commissioner Kintner voting	aye

Motion passed.

Chairperson Pro Tem Kintner asked for any other business or discussion. Hearing none, Commissioner Gabriel moved to adjourn the meeting and seconded by Commissioner Dorgan. The motion approved unanimously pursuant to a voice vote at 7:22 pm.

Minutes By: Janet Sheehan

Village of Morton Grove

Department of Community & Economic Development

To: Chairperson Blonz and Members of the Zoning Board of Appeals

From: Zoe Heidorn, Land Use Planner

Date: February 11, 2020

Re: **ZBA 20-02 – 9131 New England Avenue**
Request for approval of an expansion of a principal structure on a lot with non-conforming area and width, and a request for waivers from Sections 12-4-2 and 12-2-6 to legalize a non-conforming side yard and driveway width, after the fact

STAFF REPORT

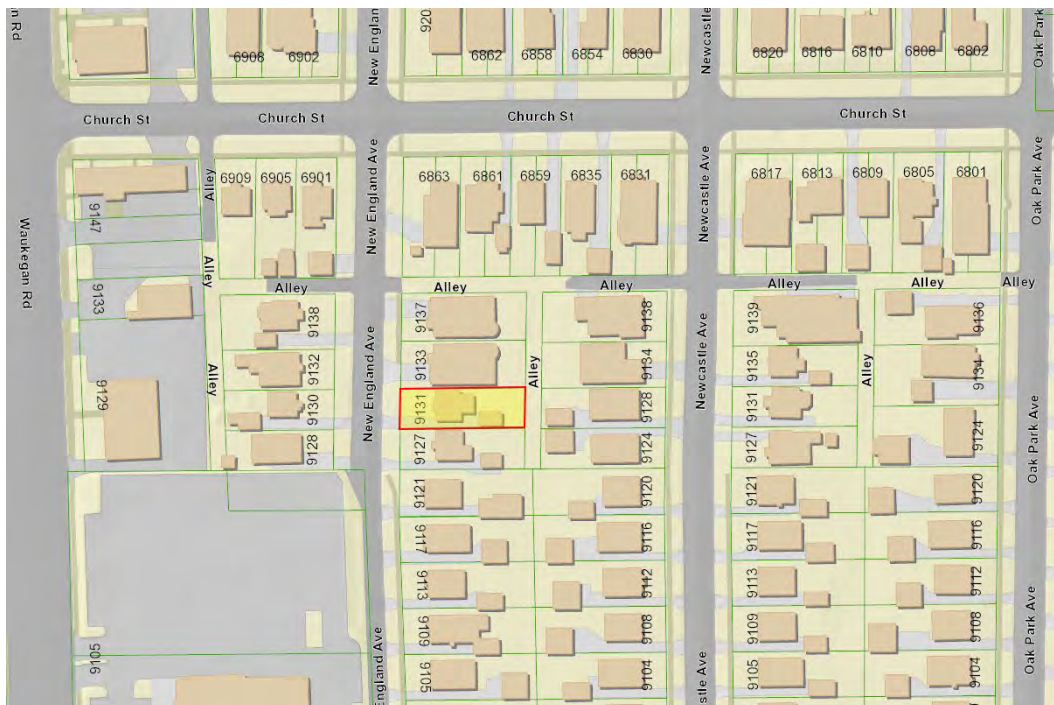
Public Notice

The Village of Morton Grove provided public notice for the February 17, 2020, Zoning Board of Appeals public hearing for ZBA 20-02 in accordance with the Unified Development Code. The *Morton Grove Champion* published a public notice on January 30, 2020. The Village mailed letters on January 24, 2020, notifying surrounding property owners and placed a public notice sign on the subject property on January 24, 2020.

Request Summary

Property Background

The subject property is an interior lot located on the east side of New England Avenue, between Davis and Church Streets. The property is zoned in an R2 Single Family Residence District and is improved with a single family residence. Properties in all immediate directions are also within the R2 District and improved with single family residences. A C1 General Commercial District is located to the southwest of the subject property, with the nearest commercial property occupied by the McGrath Acura auto dealership.



Subject Property Context Map

The applicant, Erik Kim, is seeking authorization of an expansion of a principal structure on a non-conforming lot and the legalization of a non-conforming side yard and driveway width, after the fact. Per Section 12-4-2:D of the Unified Development Code, interior lots in an R2 District subdivided prior to August 4, 1959, are required to provide a minimum lot area of 5,000 square feet and a minimum lot width of 45 feet. The subject property has a non-conforming lot area of 4,959 square feet and a non-conforming lot width of 40 feet. Properties in the R2 District are also required to provide an interior side yard no less than 5 feet in depth. The subject property's north side yard has a non-conforming depth of 2.98 feet. Ordinance 20-01, adopted on January 27, 2020, amended Section 12-2-6:G, Permitted Obstructions, to establish a minimum driveway width of 9 feet. The applicant is requesting legalization of the existing non-conforming driveway, which measures 8.6 feet in width.

Chapter 12-15, Nonconformities, includes provisions for the expansion and alteration of non-conforming structures located on non-conforming lots. Per Section 12-15-4:A.2: *"Nonconforming structures, which do not meet the criteria established in 12-15-4:A.1, may be expanded and altered, provided that the expansion or alteration meets the criteria of an authorized variation by the zoning board of appeals, and that the zoning board of appeals finds that an undue hardship is imposed on the owner of the structure and does not adversely affect the adjoining property."*

The applicant is seeking legalization of existing non-conforming aspects of the subject property and the authority to expand the single family residence, which is non-conforming with respect to the north side yard. The applicant proposes to expand the building's footprint toward the front lot line and toward the rear lot line. While the existing side wall located 2.98 feet off the north side lot line will remain in-place, the proposed additions will meet all setback requirements. A conforming detached garage is also proposed within the rear yard.

The following table provides an overview of the waivers requested to legalize the existing non-conformities and authorize the proposed expansion:

Dimensional Control	Code Requirement	Existing	Proposed	Waiver Request
Minimum Lot Area (12-4-2:D)	5,000 sq. ft.	4,959.13 sq. ft.	4,959.13 sq. ft.	<i>Non-conforming</i>
Minimum Lot Width (12-4-2:D)	45 ft.	40 ft.	40 ft.	<i>Non-conforming</i>
Expansion of Structures on a Non-conforming Lot (Sec 12-15-4:A)	Permitted if ZBA finds variance standards are met project does not adversely affect abutting properties	Lot is non-conforming as to area and width	Expansion of existing principal structure	<i>Approval required for expansion of a structure on a non-conforming lot</i>
Minimum Front Yard (12-4-2:D)	25 ft.	31.72 ft.	25 ft.	Compliant
Minimum Side Yard (12-4-2:D)	5 ft.	North side yard: 2.98 ft. South side yard: 8.6 ft.	North side yard: 2.98 ft. South side yard: 8.6 ft.	<i>Waiver of 2.02 ft. to minimum side yard requested for north side yard</i> Compliant
Minimum Rear Yard (12-4-2:D)	30 ft.	65.65 ft.	54.96 ft.	Compliant
Maximum Floor Area Ratio (12-4-2:D)	0.6	0.33	0.5994	Compliant

Minimum Driveway Width (12-2-6:G)	9 ft.	8.6 ft.	8.6 ft.	<i>Waiver of 0.4 ft. to minimum driveway width required</i>
Maximum Lot Coverage (12-4-2:D)	60%	41.61%	60%	Compliant

As indicated in above table, the following waivers are required to authorize the proposed project and legalize the non-conforming north side yard and driveway width:

- **Section 12-15-4:A** - Approval to allow for the expansion of a non-conforming principal structure on a non-conforming lot, provided it meets the criteria for an authorized variation by the Zoning Board of Appeals.
- **Section 12-4-2:D** – Waiver of 2.02 feet to the minimum side yard requirement of 5 feet to allow a north side yard of 2.98 feet, after the fact.
- **Section 12-2-6:G** – Waiver of 0.4 feet to the minimum driveway width requirement of 9 feet to allow a driveway width of 8.6 feet, after the fact.

Discussion

Section 12-15-4:A of the Unified Development Code authorizes the administrative approval of additions to non-conforming structures if the addition complies with all applicable dimensional requirement and if the lot is conforming. In the case of ZBA 20-02, the addition complies with all applicable dimensional requirements, but the lot is not conforming. As such, the project requires ZBA review and approval.



Proposed Front Elevation

In accordance with Section 12-2-1:B.7, the applicant submitted a Design Workbook demonstrating that the project is compatible with the existing neighborhood. The applicant is proposing a white stucco facade with black windows and a dark standing seam metal roof. Other residences along the same blockface and in the surrounding one-block radius feature similar exterior details, including stucco finishes, all-white exteriors, and black windows. In accordance with Section 12-11-1:A.2, the applicant will also be required to submit a landscape plan to the Building Commissioner and Land Use Planner prior to the issuance of a building permit to demonstrate that proposed landscaping complies with the requirements of Chapter 12-11, Landscaping and Trees. Any changes to the building's exterior that are not compatible with the existing neighborhood and any landscape plan that does not meet the standards of Chapter 12-11 will require the applicant to obtain approval from the Appearance Commission.

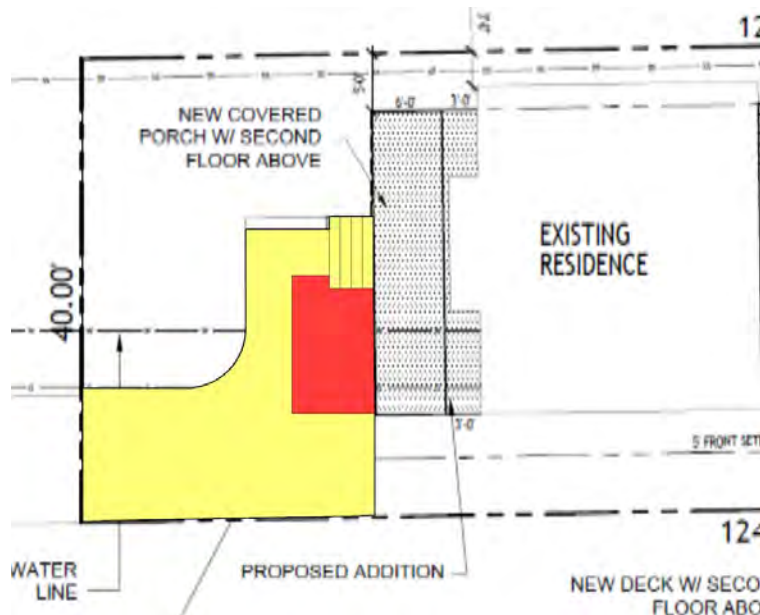
Upon review of the submitted application, the Manager of Building and Inspectional Services noted the following requirements of the 2003 International Residential Code (IRC):

"R302.1 Exterior walls. Exterior walls with a fire separation distance less than 3 feet (914 mm) shall have not less than a one-hour fire-resistive rating with exposure from both sides.

R302.2 Openings. Openings shall not be permitted in the exterior wall of a dwelling or accessory building with a fire separation distance less than 3 feet (914 mm). This distance shall be measured perpendicular to the line used to determine the fire separation distance."

Per the Building Department, if the 2.98-foot north side yard is maintained, the first floor windows along the north building line can be replaced, but openings cannot be moved or modified. The second story north building line wall will need to comply with the 3-foot minimum setback or provide a one-hour fire-resistive rating and have all openings eliminated. Compliance with the above and all applicable building and life safety requirements will be worked through in the formal building permitting process.

Staff's sole concern with the submitted site plan is the proposed concrete area located within the front yard. Per Section 12-2-6:G, sidewalks may be a maximum of 4 feet in width within the front yard. The applicant has agreed to reduce the width of the sidewalk within the front yard to no greater than 4 feet, which will result in a front yard plan similar to the one prepared by staff below. The yellow area illustrates where a compliant driveway and sidewalk may be placed. The red area illustrates the area of impermeable coverage that will need to be removed from the proposed plan to attain compliance. The final sidewalk design will be worked through in the formal building permitting process.



Staff notes that the applicant originally proposed to extend the non-conforming north building wall east and west to provide aesthetic symmetry for the front elevation and to enable a larger expansion in building footprint. At the recommendation of staff, the applicant revised the building plans to make all dimensional aspects of the proposed addition conforming.

Variation Standards

The Zoning Board of Appeals can approve the application as presented, approve it with conditions, or deny the application based on the following standards, established in Section 12-16-3:A:

- a. Not Self-Imposed: The alleged difficulty or hardship is caused by this title and has not been created by any persons presently having an interest in the subject property.

- b. Nonmonetary Considerations: The circumstances or conditions are such that the strict application of the provisions of this title would deprive the applicant of a reasonable use of his land. Mere loss in value shall not justify a variation.
- c. Not Detrimental to Public Welfare: The granting of any variation is in harmony with the general purposes and intent of this title and will not be detrimental to the public welfare or to other property or improvements in the neighborhood.
- d. Not Detrimental to Neighborhood: The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the streets, increase the potential damage of fire, endanger the public safety, or alter the character of the neighborhood.

The applicant has provided their responses to these standards in the Variation Application.

Recommendation

Should the Board approve Case ZBA 20-02, staff recommends the following motion and conditions:

The Zoning Board of Appeals approves Case ZBA 20-02, a request for approval of an expansion of a principal structure on a lot with non-conforming area and width, and a request for waivers from Sections 12-4-2 and 12-2-6 to legalize a non-conforming side yard and driveway width, after the fact:

- 1) The proposed addition shall be built in accordance with the plans submitted by the applicant in the Variation Application dated 01/13/2020, except that the proposed walkway within the front yard shall comply with dimensional standards established in Section 12-2-6:G, Permitted Obstructions; and*
- 2) The applicant shall file all necessary plans and applications, for review and approval, and secure all necessary building permits prior to the commencement of construction.*

Attachments

Application and related materials (submitted by applicant)



Incredibly Close ✨ Amazingly Open

VARIATION APPLICATION

Village of Morton Grove
Department of Community Development
6101 Capulina Avenue Morton Grove, Illinois 60053
(847)663-3063(p) (847)965-4162 (f)

CASE NUMBER: ZBA 20-02 DATE APPLICATION FILED: 1/13/2020

APPLICANT INFORMATION

Applicant Name: Erik Kim
Applicant Address: 9131 New England Ave.
Applicant City / State / Zip Code: Morton Grove, Illinois 60053
Applicant Phone: (312) 610-2462
Mobil / Other: (312) 610-2462
Applicant Email: fernwehl@icloud.com
Applicant Legal Interest in Property (Owner, Tenant, Etc.): Owner
Applicant Signature: [Signature]

PROPERTY INFORMATION

Common Address of Property: 9131 New England Ave.
Property Identification Number (PIN): 10-18-306-013-0000
Zoning District: R2 Property's Current Use: Residential

APPLICANT'S REQUEST (ATTACH ADDITIONAL SHEETS AS NECESSARY):

1. Applicant is requesting a Variation from the following section of the Unified Development Code: 12-4-2: D 1/2 12-2-4: 9

for the following: _____

- | | |
|--|--|
| 1. Existing lot width is non-compliant | Min. 45' – waiver of 5' needed |
| 2. Existing lot area is non-compliant | Min. 5000 sf – waiver of 40 sf needed |
| 3. Proposed side yard setback is non-compliant | Min. 5' – waiver of 2.02' needed |
| 4. <u>EXISTING DRIVEWAY WIDTH IS NON-COMPLIANT</u> | <u>MIN. 9' – WAIVER OF 0.4' NEEDED</u> |

2. Please provide detailed information to explain why the variation is being requested:

- | | |
|--|---------------------------------------|
| 1. Existing lot width is non-compliant | Min. 45' – waiver of 5' needed |
| 2. Existing lot area is non-compliant | Min. 5000 sf – waiver of 40 sf needed |
| 3. Proposed side yard setback is non-compliant | Min. 5' – waiver of 2'-2" needed |

3. Provide responses to the Variation standards as listed in Section 12-16-3-A-2 of the Unified Development Code. The Variation standards are as follows:

a. Not Self-Imposed: The alleged difficulty or hardship is caused by this title and has not been created by any persons presently having an interest in the subject property.

*Existing structure built as non-compliant
Addition to be build per code*

b. Nonmonetary Considerations: The circumstances or conditions are such that the strict application of the provisions of this title would deprive the applicant of a reasonable use of his land. Mere loss in value shall not justify a variation.

*Existing conditions : non altered addition to be
built*

c. Not Detrimental to Public Welfare: The granting of any variation is in harmony with the general purposes and intent of this title and will not be detrimental to the public welfare or to other property or improvements in the neighborhood.

Non Detrimental to Public welfare of environment

d. Not Detrimental to Neighborhood: The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the streets, increase the potential damage of fire, endanger the public safety, or alter the character of the neighborhood.

Non-Detrimental to neighborhood

Design Workbook

The workbook was developed to assist with your redevelopment project and to help you design your home in a manner which takes into account the context which you are building, and adheres to principles which will enhance the overall appearance of your home and the neighborhood. New residential redevelopment should fit into the context in which it is being built. The context includes the **neighborhood**, the **block**, the **adjacent homes**, and the **site**.

Some of the questions may be more easily answered with the assistance of a design professional, such as an architect, developer, or landscape architect. We encourage you to seek assistance if necessary.

Upon review of the workbook by Village staff, you may be required to appear before the Appearance Commission. If this is the case, we will notify you as soon as possible, and direct you as to the next steps.

Please answer all of the questions in the workbook to the best of your ability.

INTRODUCTION

The Village of Morton Grove is continually concerned with the appearance of the Village and maintaining a high quality of life for its residents. Through the enactment of the Appearance Code, the Village strives to promote greater interest in the appearance, development, and redevelopment of all properties as they relate to their surroundings and the community. The use of this workbook will give developers, builders, and homeowners planning on improving their property a viable tool to use to create quality design solutions for their proposed projects.

The purpose of this workbook is to assist developers, builders, and homeowners with the permit approval process and:

1. To ensure that the overall quality of new residential redevelopment or expansion projects will complement the existing homes and surrounding neighborhood.
2. To provide guidelines related to the aesthetic quality of residential redevelopment and expansion projects in the Village of Morton Grove.
3. To identify which projects may be recommended for further review by the Appearance Commission.
4. To provide the Zoning Board of Appeals with additional information for applicants who are applying for a zoning variation.

APPLICATION

Address of Project **9131 New England Ave.**

Zoning District **Niles**

Subdivision

Applicant Name **Erik Kim**

Applicant Address **9131 New England Ave.**

Applicant Phone **(312) 610-2462**

Applicant Email **fernwehl@cicloud.com**

Project Type

☐ Complete new construction

☒ Addition of > 50% square footage of home

☐ Addition of < 50% square footage of home

Zoning Variation

☒ Requested ☐ Not Requested

Variation Request

1. Existing lot width is non-compliant

2. Existing lot area is non-compliant

3. Proposed side yard setback is non-compliant

Min. 45' - waiver of 5' needed

Min. 5000 sf - waiver of 40 sf needed

Min. 5' - waiver of 2'-2" needed

Applicant Signature



STAFF USE ONLY

Commission
Review

☐ Required

☒ Not Required

Staff Approval



YOUR BLOCK

Please submit photographs of your block (both sides), identifying your property and the adjacent homes, and answer the following questions.

How many floors do most of the houses have on your block? (Check all that apply.)	<input type="checkbox"/> 1 Story <input checked="" type="checkbox"/> 2 Story <input type="checkbox"/> 3 Story	<input type="checkbox"/> 1.5 Story <input type="checkbox"/> 2.5 Story <input type="checkbox"/> 3+ Story	What are the colors of the facades of the homes on your block? (Check all that apply.)	<input checked="" type="checkbox"/> Beige <input checked="" type="checkbox"/> White <input checked="" type="checkbox"/> Grey	<input checked="" type="checkbox"/> Red <input checked="" type="checkbox"/> Brown <input checked="" type="checkbox"/> Yellow	<input checked="" type="checkbox"/> Blue <input type="checkbox"/> Black <input type="checkbox"/> Other
What are the facade materials facing the street of the homes on your block? (Check all that apply.)	<input checked="" type="checkbox"/> Brick <input checked="" type="checkbox"/> Siding <input type="checkbox"/> Drivet	<input checked="" type="checkbox"/> Stucco <input checked="" type="checkbox"/> Stone <input type="checkbox"/> Wood	Other materials and colors not listed:			
What are the predominant roof types of the homes on your block? (Check all that apply.)	<input checked="" type="checkbox"/> Gable <input type="checkbox"/> Saltbox <input checked="" type="checkbox"/> Hip	<input type="checkbox"/> Gambrel <input type="checkbox"/> Flat <input type="checkbox"/> Combination	Are the garages on your block attached or detached?	<input type="checkbox"/> Attached <input type="checkbox"/> Detached	<input checked="" type="checkbox"/> Both <input type="checkbox"/> Neither	
			Is there an alley?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
What are the architectural styles of the homes on your block? (Check all that apply.)	<input checked="" type="checkbox"/> Ranch <input type="checkbox"/> Bi-Level <input checked="" type="checkbox"/> Bungalow	<input checked="" type="checkbox"/> Tudor <input type="checkbox"/> Georgian <input type="checkbox"/> Prairie	<input checked="" type="checkbox"/> Raised Ranch <input type="checkbox"/> Tri-Level <input type="checkbox"/> Colonial	<input type="checkbox"/> Victorian <input checked="" type="checkbox"/> Contemporary <input type="checkbox"/> Mediterranean	<input checked="" type="checkbox"/> Other: Cape Cod	
What are the architectural details of the surrounding homes? (Check all that apply.)	<input checked="" type="checkbox"/> Porches <input type="checkbox"/> Shutters <input checked="" type="checkbox"/> Archways	<input checked="" type="checkbox"/> Columns <input checked="" type="checkbox"/> Decorative Windows	<input checked="" type="checkbox"/> Bay Windows <input checked="" type="checkbox"/> Arched Windows <input checked="" type="checkbox"/> Decorative Trim	<input type="checkbox"/> Frieze Boards <input type="checkbox"/> Balusters <input type="checkbox"/> Ironwork	<input type="checkbox"/> Other:	
What are the common landscape features of your block? (Check all that apply.)	<input checked="" type="checkbox"/> Parkway Trees <input type="checkbox"/> Yard Trees <input type="checkbox"/> Flower Beds	<input type="checkbox"/> Baskets <input type="checkbox"/> Foundation Plantings	<input checked="" type="checkbox"/> Hedges <input checked="" type="checkbox"/> Bushes <input type="checkbox"/> Yard Furniture	<input type="checkbox"/> Sculptures <input type="checkbox"/> Native Plantings <input type="checkbox"/> Rain Gardens	<input type="checkbox"/> Other:	
What is your block like? Are there a lot of additions or new houses? (Check all that apply.)	<input checked="" type="checkbox"/> Original Home <input checked="" type="checkbox"/> 2nd Floor Addition	<input checked="" type="checkbox"/> Rear Addition <input checked="" type="checkbox"/> Side Addition <input type="checkbox"/> Front Addition	<input checked="" type="checkbox"/> New Facade <input checked="" type="checkbox"/> New Construction	<input type="checkbox"/> Vacant Property <input type="checkbox"/> Other:		

YOUR SITE

Front Yard Setback	25 Feet	Side Yard Setbacks	2 Feet 10 Inch, 5 Feet
Rear Yard Setback	54 Feet 11 - 1/2 Inch	Floor Area Ratio	0.6

Are there any site conditions that affect your project's height, setbacks, garage placement, or landscaping? If yes, please list.

- | | |
|--|---------------------------------------|
| 1. Existing lot width is non-compliant | Min. 45' – waiver of 5' needed |
| 2. Existing lot area is non-compliant | Min. 5000 sf – waiver of 40 sf needed |
| 3. Proposed side yard setback is non-compliant | Min. 5' – waiver of 2'-2" nee |

What is the best location for your garage and driveway, taking into account the surrounding homes?

Existing

Are there any existing trees? Will any trees be removed? Will any be replaced? If not, please explain why.

No Trees to be removed

How will your new home, expansion or addition incorporate common characteristics of the existing homes on your block and neighborhood? Use the answers to the previous questions and the design guidelines in the following section to accomplish this task. My proposed residential redevelopment will consist of the following:

Number of Stories	2	Architectural Style	Raised Ranch
Facade Materials	Stucco	Colors	White
Roof Type	Metal Standing Seam	Architectural Details	Clean White Facade
Landscape Features	Hedges and bushes with brick paved walkway	Garage Type (Attached/Detached)	Detached



9127 New England



9130 New England



9133-37 New England



9131 Newcastle



9139 Newcastle



9138 Newcastle



6859 Church



6862 Church

9131 New England LLC

9131 New England Ave
Morton Grove, IL

INDEX OF DRAWINGS

ARCHITECTURAL

- T1 SITE PLAN, DRAWING INDEX, CODE, AND GENERAL INFORMATION
- A1 EXISTING ELEVATIONS
- A2 PROPOSED ELEVATIONS
- A3 FOUNDATION PLANS
- A4 FIRST FLOOR PLANS
- A5 SECOND FLOOR PLANS
- A6 ROOF PLANS
- A7 DETAILS, SCHEDULES AND NOTES
- A8 TYPICAL WALL SECTION AND SPECIFICATIONS
- A9 GARAGE PLANS AND ELEVATIONS

CODE / ORDINANCE DATA

- 2003 International Residential Code w/ Amendments
 - 2011 National Electric Code
 - 2014 Illinois Plumbing Code
 - 2018 Illinois Energy Conservation Code
- (PRESCRIPTIVE METHOD IN LIEU OF RESCHECK) R-21 WALLS, R-49 CEILING, WINDOW U-FACTOR 0.30, R-10 BELOW GRADE

APPROVED PLANS SHALL BE ON SITE FOR ALL INSPECTIONS

SQUARE FOOTAGE

EXISTING BASEMENT = 711 SF
EXISTING FIRST FLOOR = 711 SF
EXISTING SECOND FLOOR = 464 SF

PROPOSED CRAWL SPACE = 525 SF
PROPOSED FIRST FLOOR = 1158 SF
PROPOSED SECOND FLOOR = 1335 SF
PROPOSED FRONT PORCH = 168 SF
PROPOSED REAR DECK = 98 SF

SQUARE FOOTAGE OF LOT = 4,960 SF

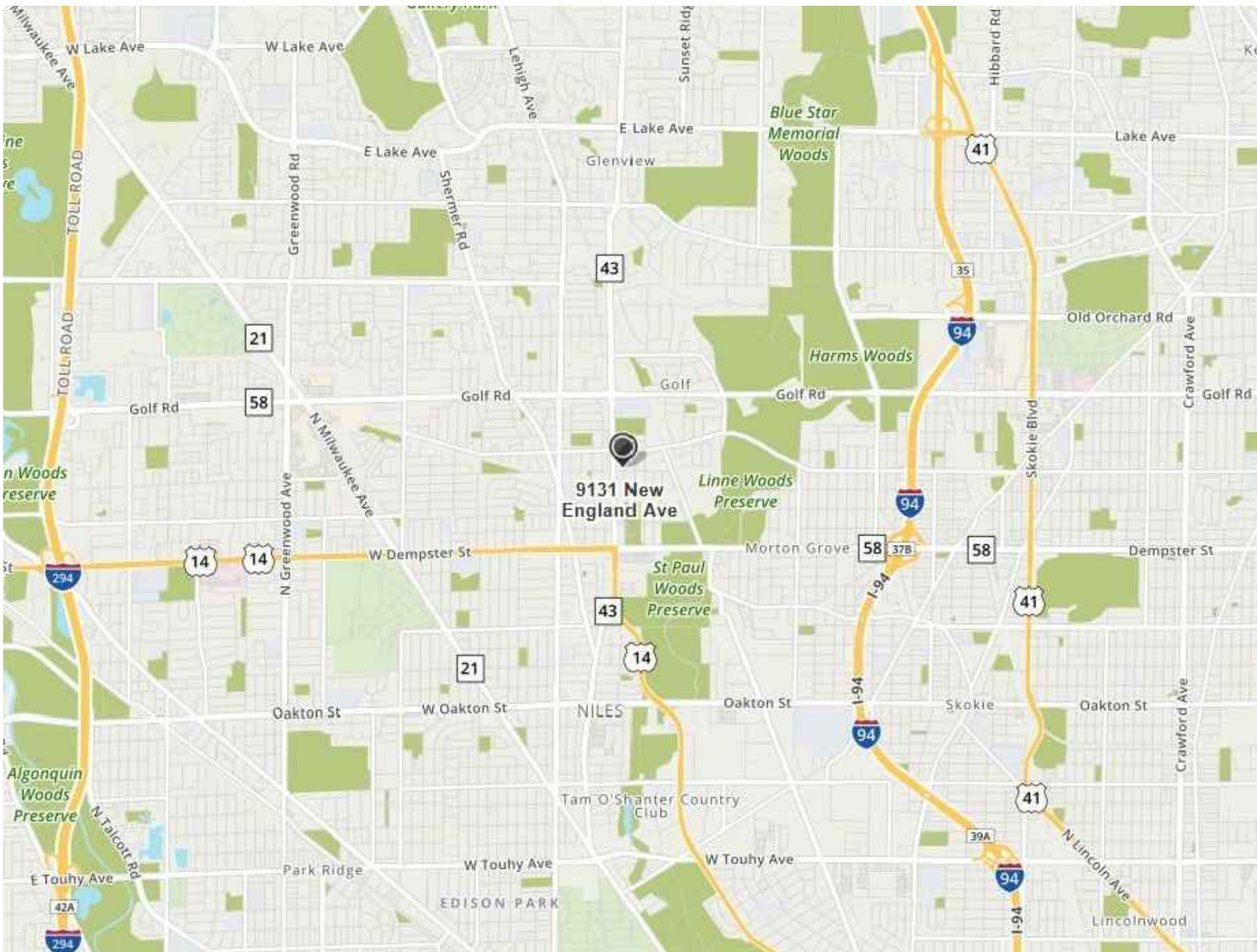
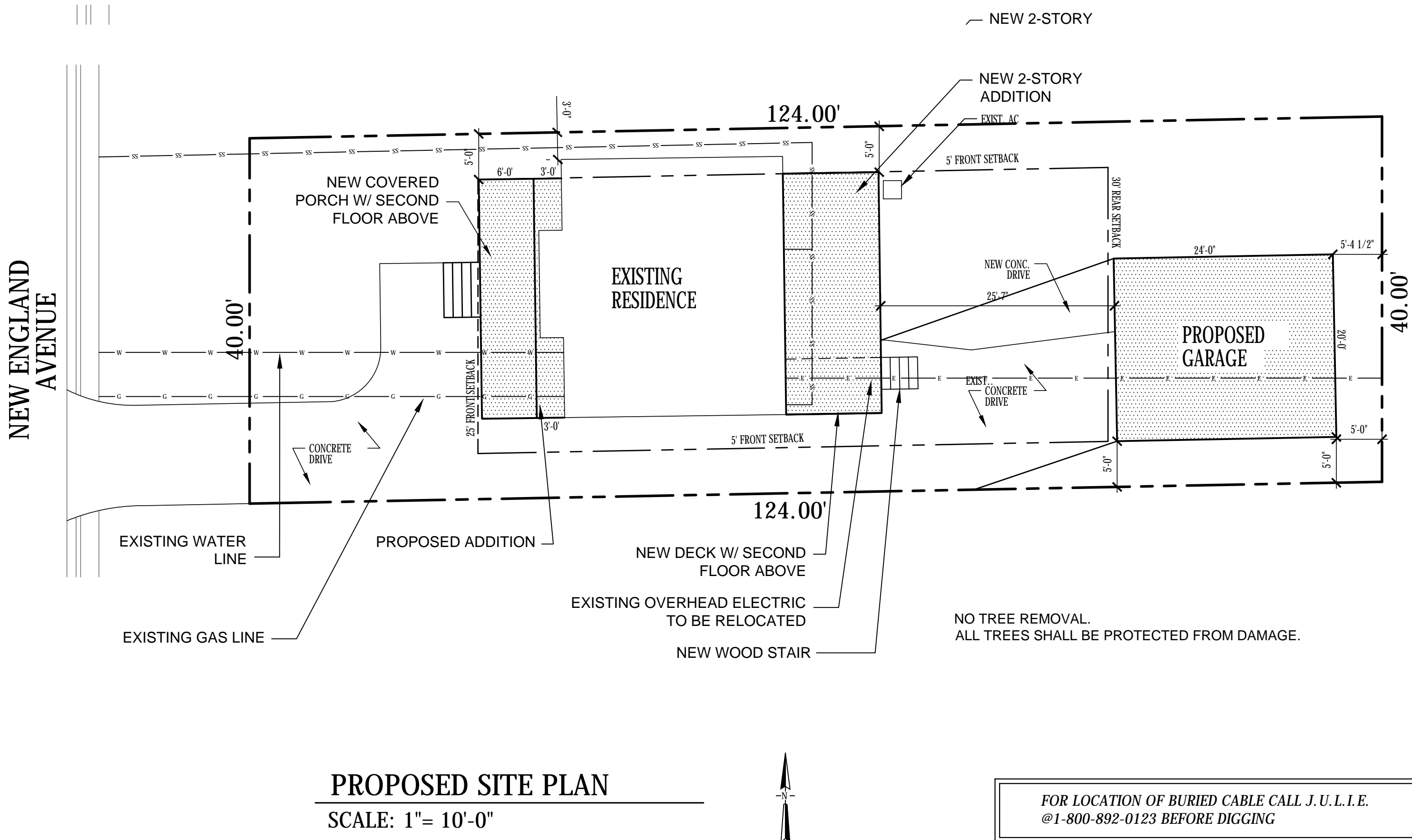
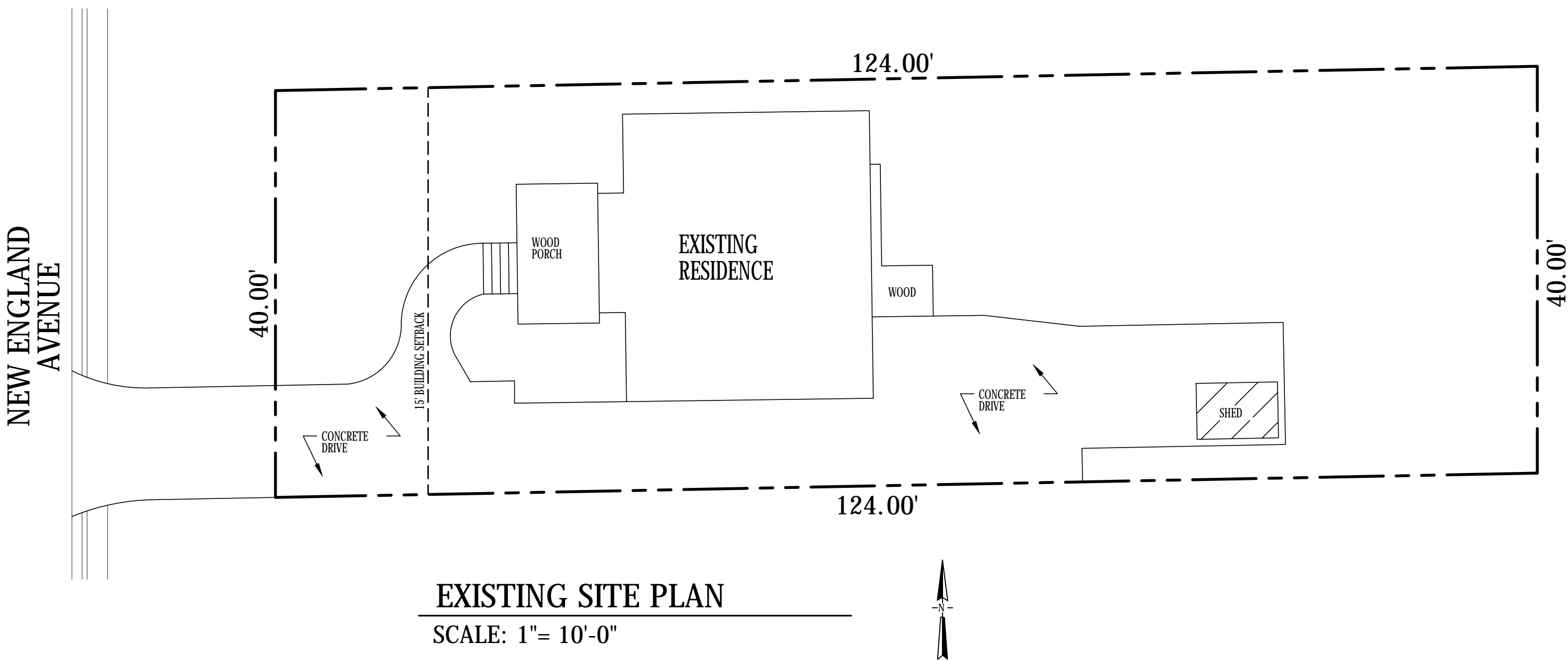
PROPOSED GARAGE = 480 SF

GENERAL INFORMATION:

ZONING: R2
BUILDING HEIGHT: 28 FT MAX.
FRONT YARD SETBACK: 25 FT MIN.
SIDE YARD SETBACK: 5 FT MIN.
REAR YARD SETBACK: 30 FT
FLOOR AREA RATIO: 0.6 MAX (0.33 GARAGE/HOUSE)

LOAD DESIGN CRITERIA:

FLOOR LIVE LOAD = 40 PSF
FLOOR DEAD LOAD = 15 PSF
ROOF LIVE LOAD = 20 PSF
ROOF DEAD LOAD = 15 PSF
GROUND SNOW LOAD = 30 PSF
BASIC WIND SPEED = 90 mph/EXPOSURE B



LOCATION MAP
N.T.S.

Randolph F. Liebelt
AIA, NCARB
900 North Shore Drive
Suite 100
Lake Bluff, Illinois 60044
PH (847) 615-0707
FAX (847) 574.6207
LA.Design@sbcglobal.net

Project Name:
9131 New England LLC

Project:
First Floor Remodel, Front Porch and Second Floor Addition

Address:
9131 New England Ave
Morton Grove, IL



Revised Plans 01.11.20

Revised Plans 12.17.19

Preliminary Plans 11.23.19

Drawn By DH

Checked By

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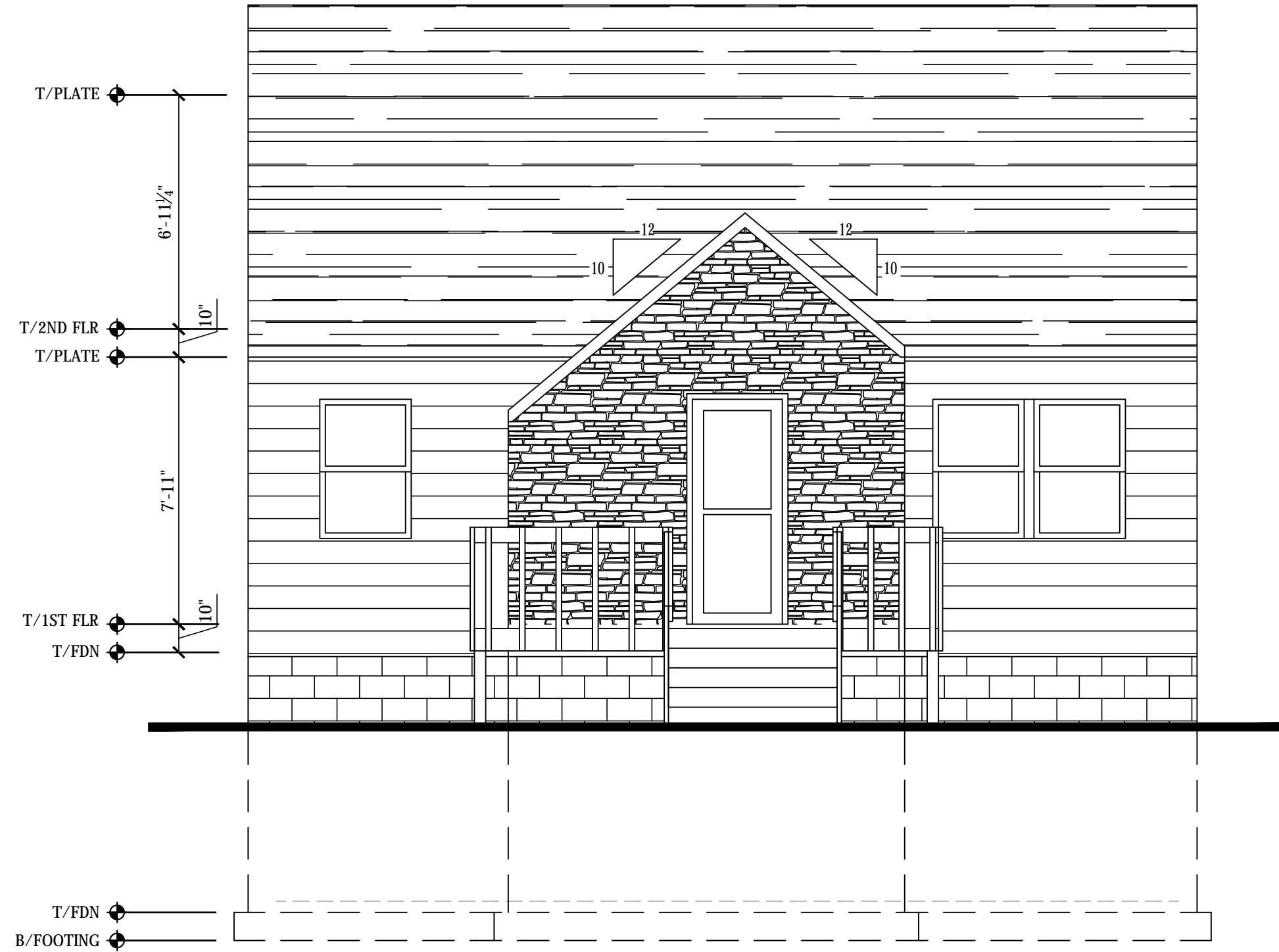
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PROJECT NUMBER

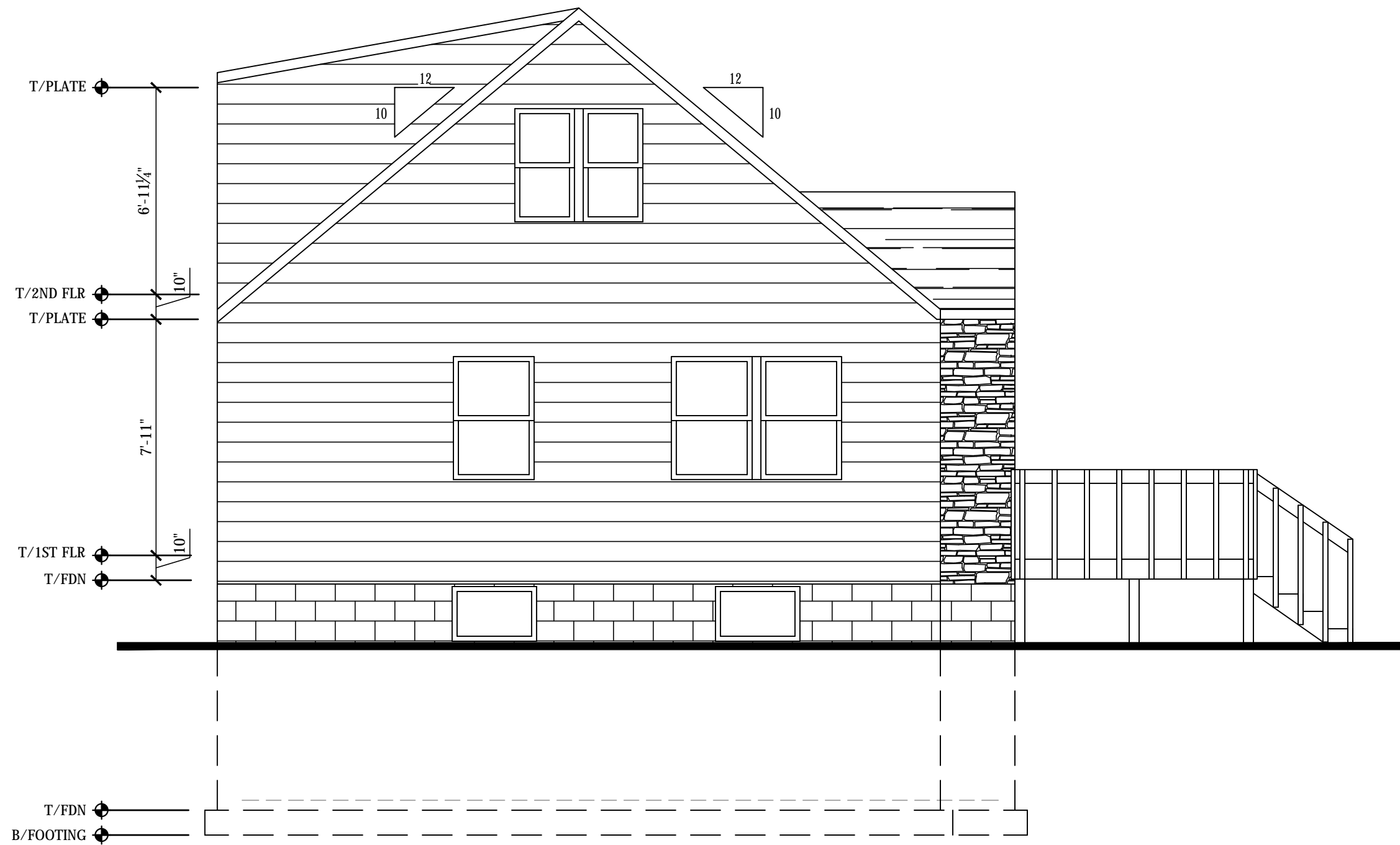
Project Name:
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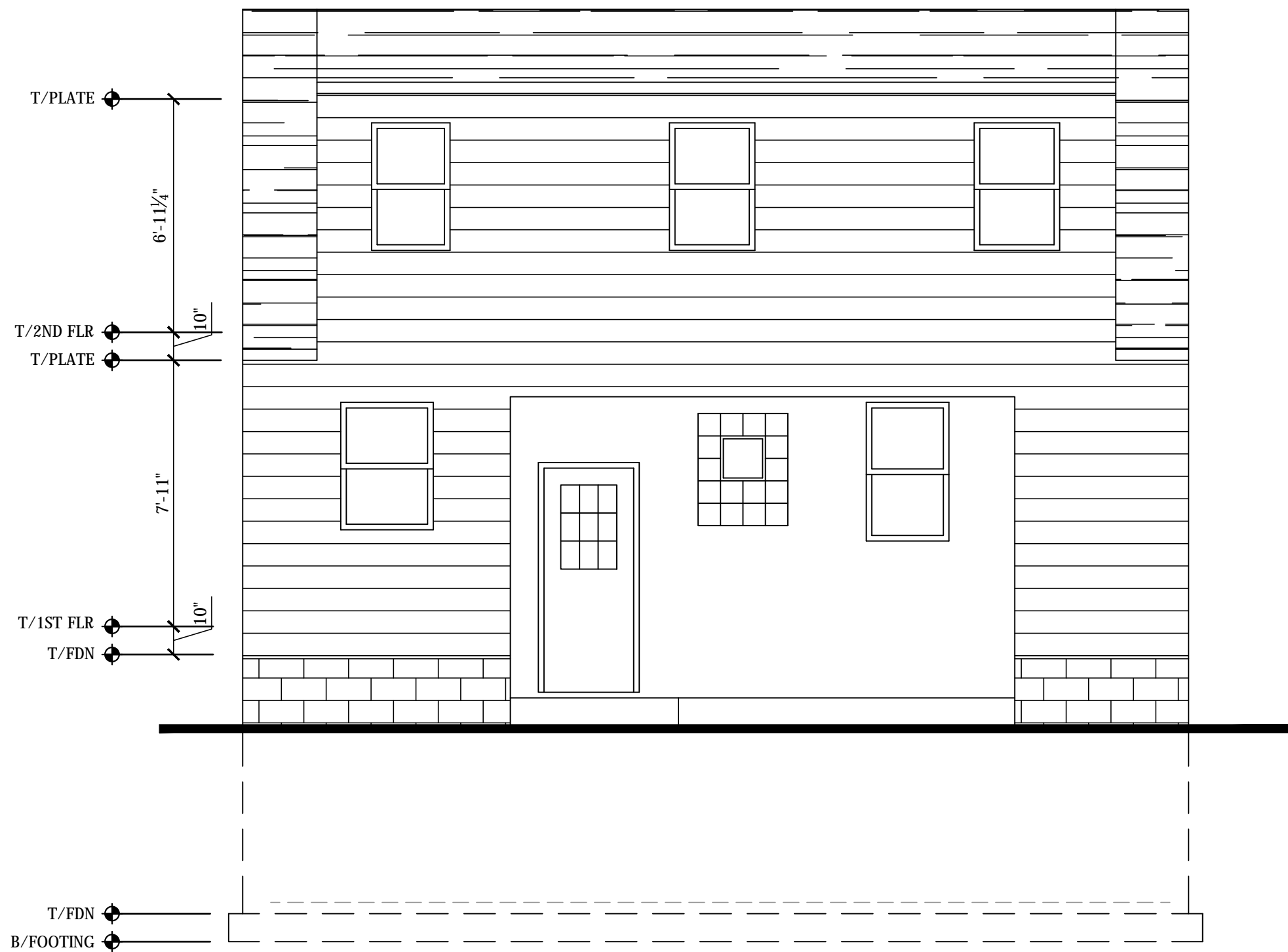
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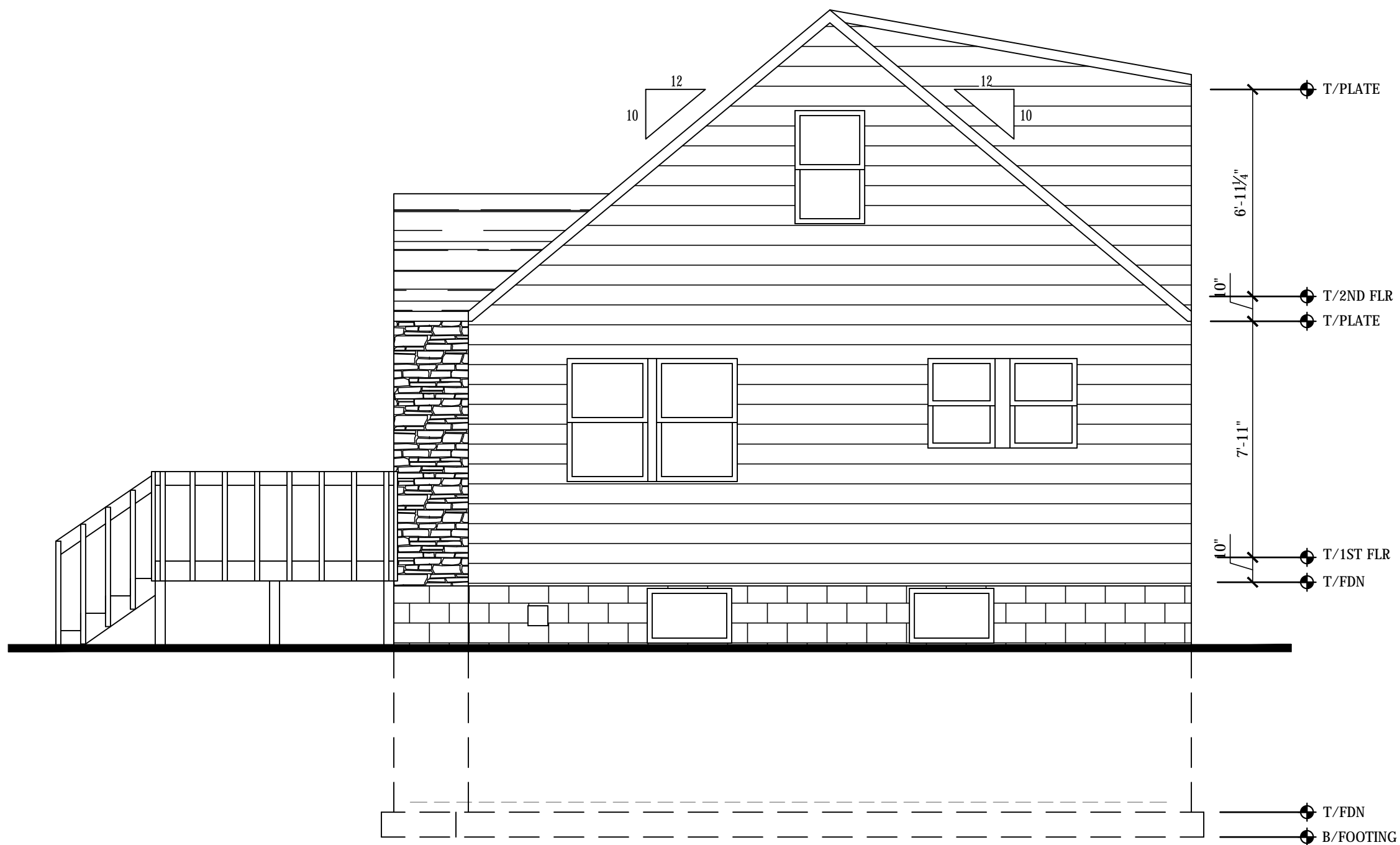
1
A1
EXISTING FRONT ELEVATION
SCALE 1/4"= 1'-0"



2
A1
EXISTING LEFT ELEVATION
SCALE 1/4"= 1'-0"



3
A1
EXISTING REAR ELEVATION
SCALE 1/4"= 1'-0"



4
A1
EXISTING RIGHT ELEVATION
SCALE 1/4"= 1'-0"

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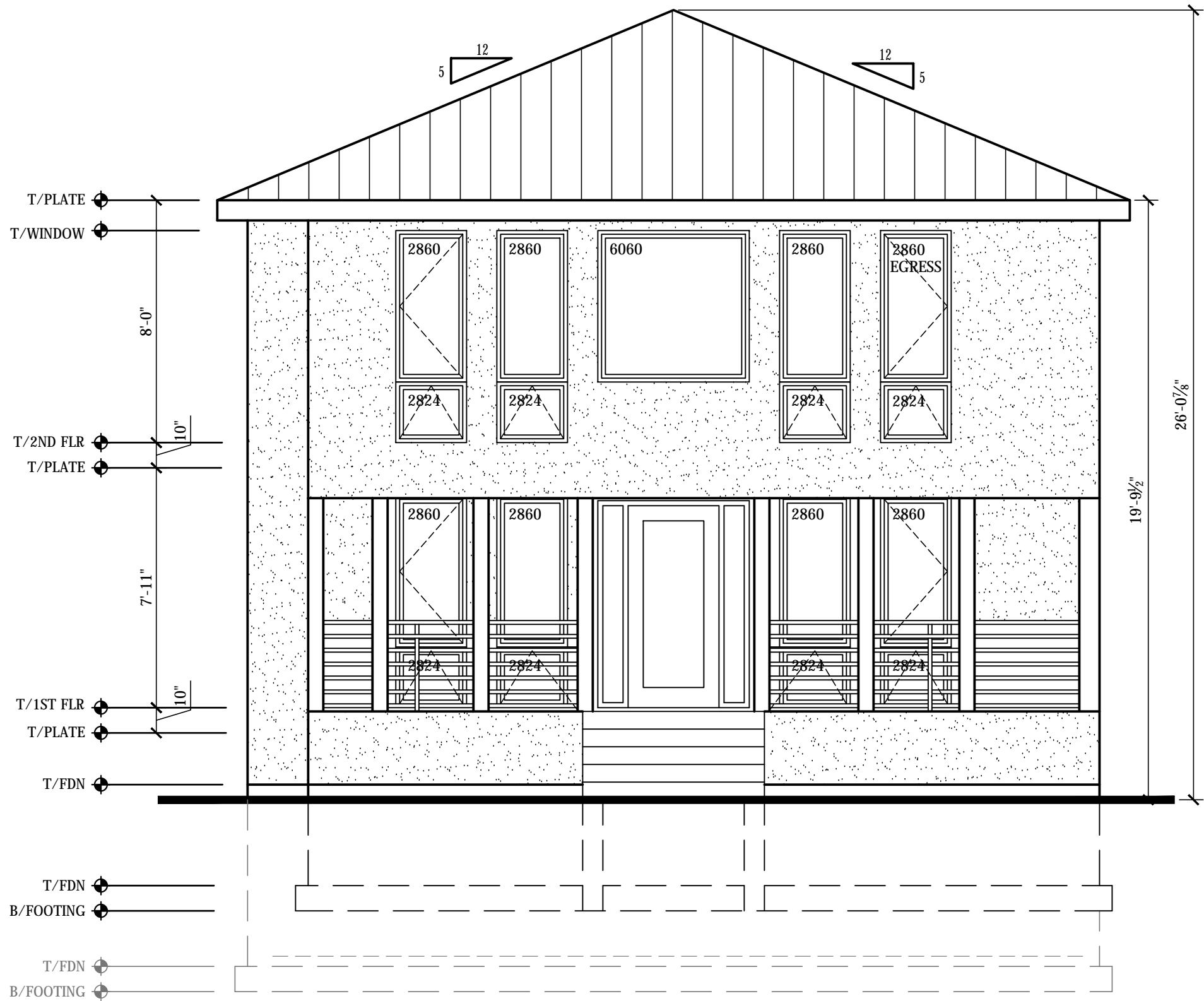
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PROJECT NUMBER



1
A2 PROPOSED FRONT ELEVATION
SCALE 1/4"= 1'-0"

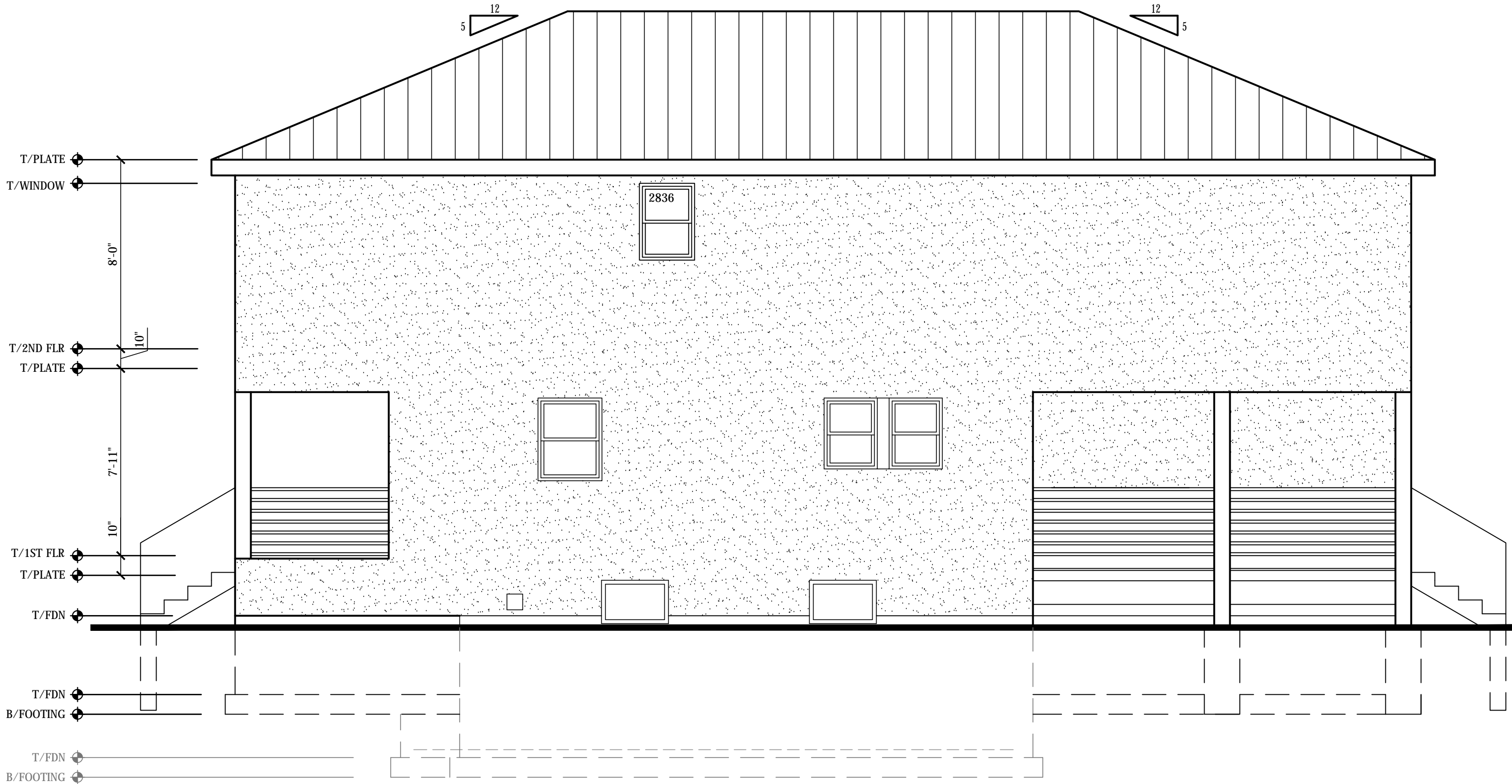
- NOTES:
- WINDOW SIZES ARE SHOWN IN INCHES (MATCH PROPOSED).
 - MATCH PROPOSED WINDOW HEAD HEIGHTS ON FIRST FLOOR
 - 6'-10" WINDOW HEAD HEIGHTS AT SECOND FLOOR
 - ALL NEW WINDOWS WITH SILL HEIGHTS BELOW 18" SHALL BE TEMPERED.
 - CONTRACTOR SHALL CONFIRM PLATE/FLOOR HEIGHTS



2
A2 PROPOSED LEFT ELEVATION
SCALE 1/4"= 1'-0"



3
A2 PROPOSED REAR ELEVATION
SCALE 1/4"= 1'-0"



4
A2 PROPOSED RIGHT ELEVATION
SCALE 1/4"= 1'-0"

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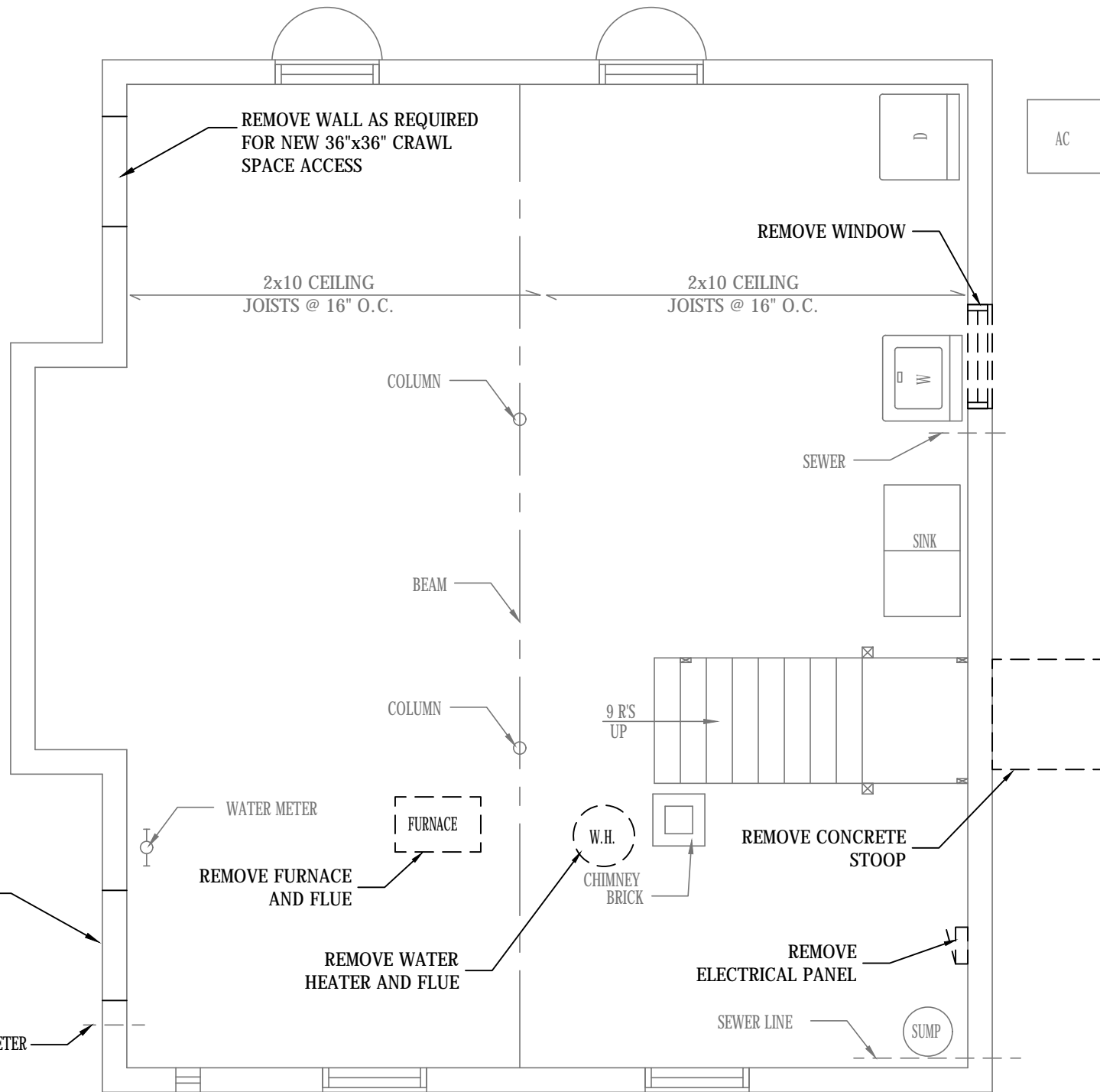
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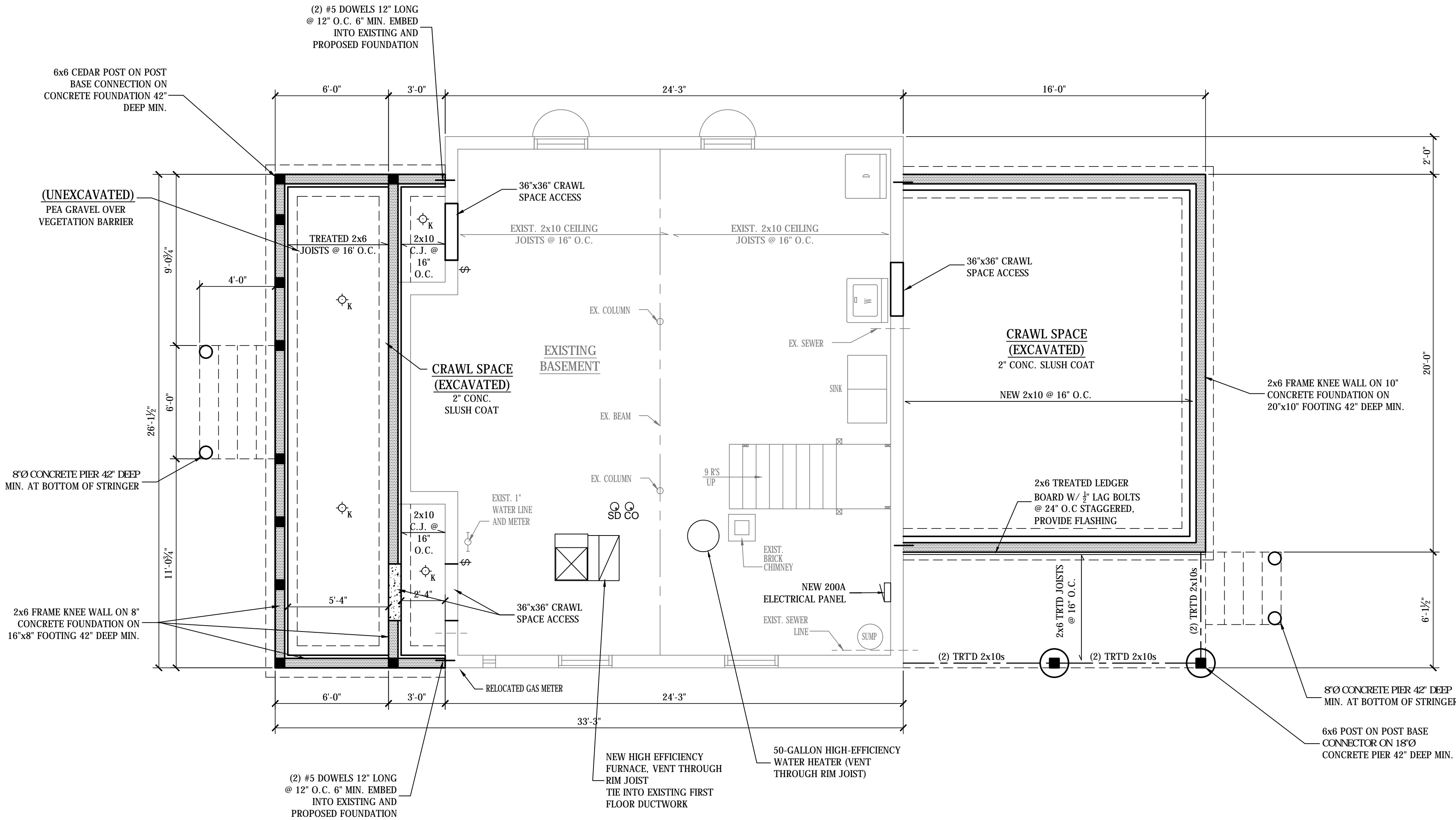
A3

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PROJECT NUMBER



1 FOUNDATION DEMO PLAN
A3 SCALE 1/4"= 1'-0"

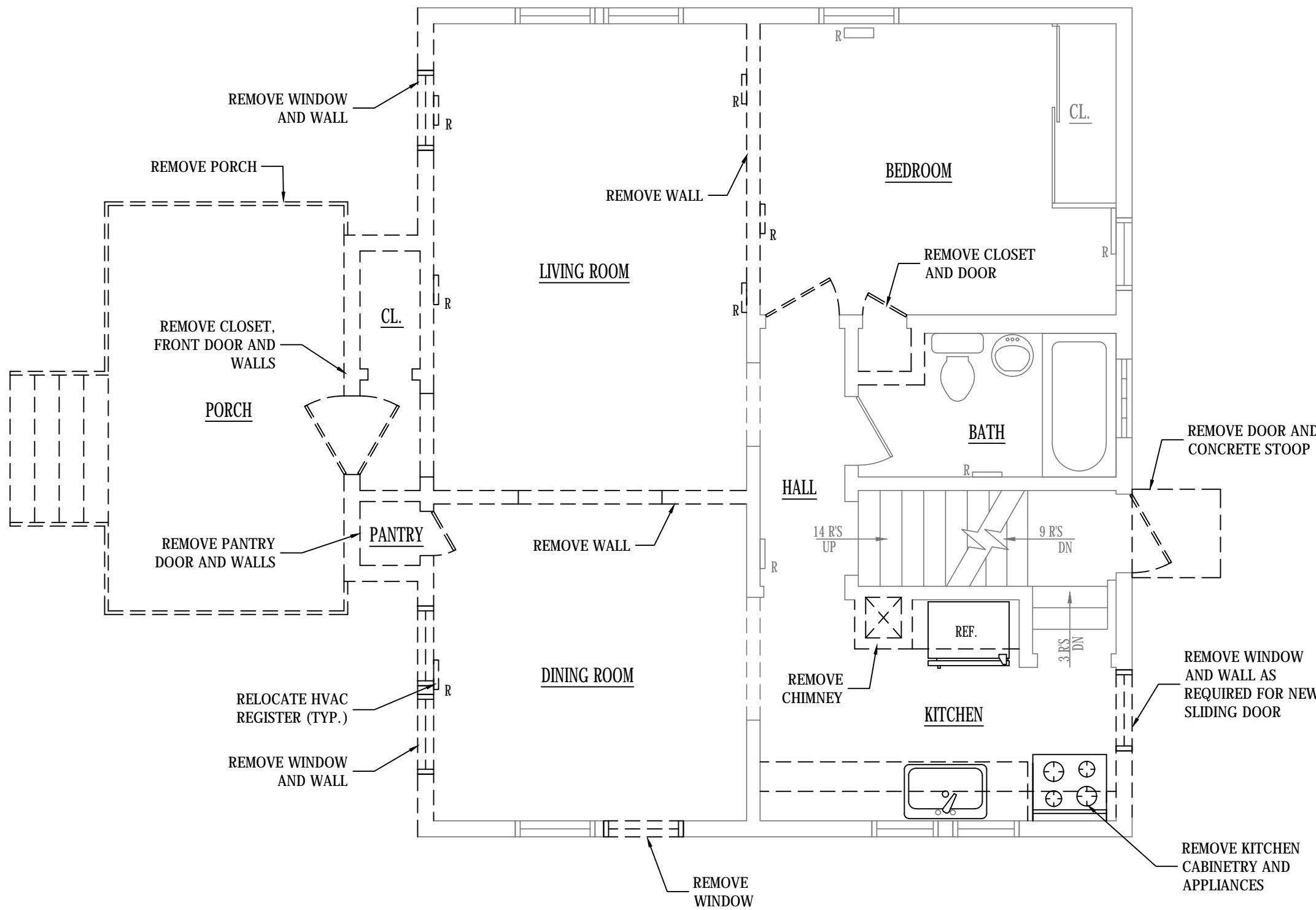


2 FOUNDATION PLAN
A3 SCALE 1/4"= 1'-0"

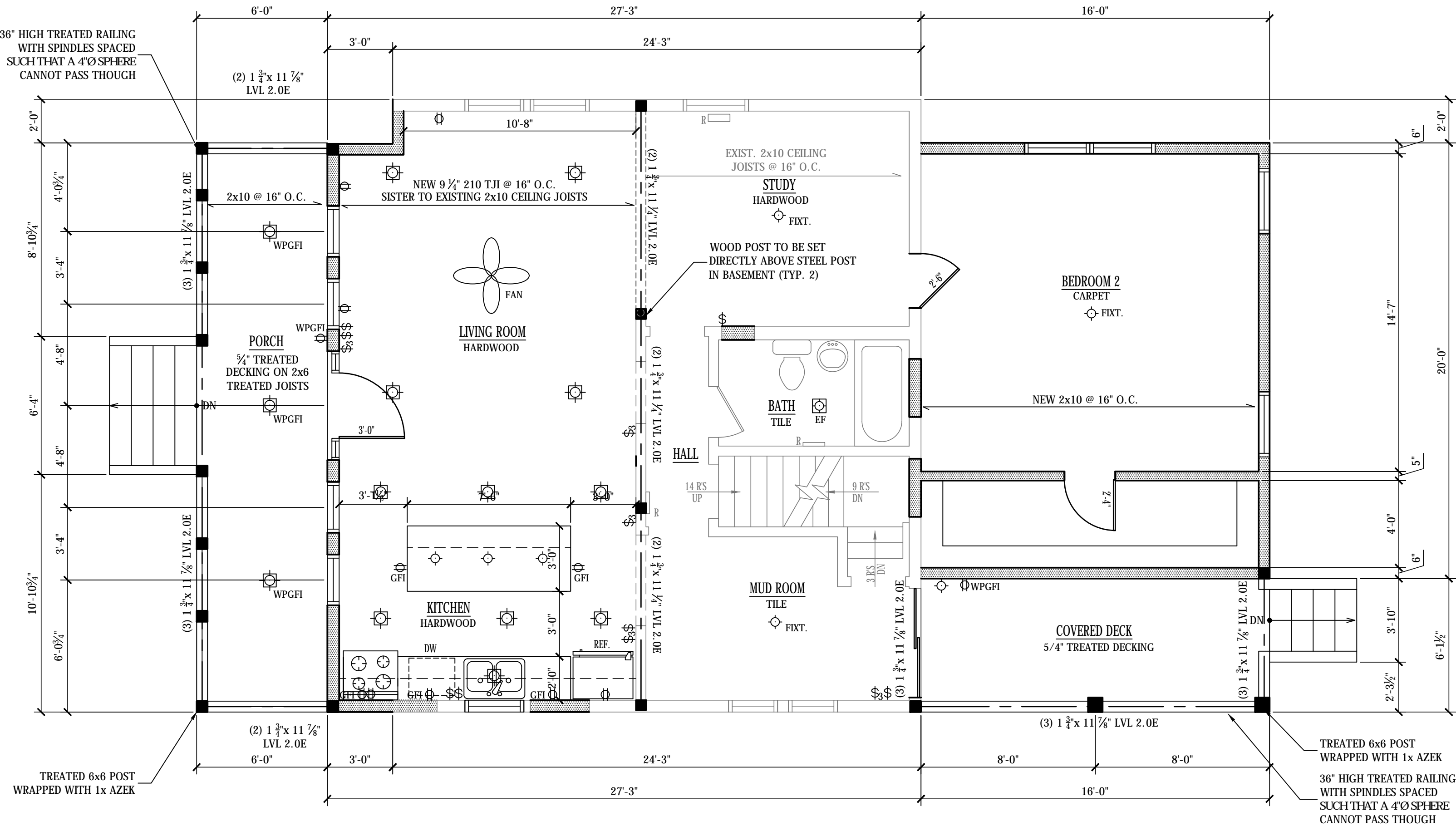
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1
A4 **FIRST FLOOR DEMO PLAN**
SCALE 1/4"= 1'-0"



2
A4 **FIRST FLOOR PLAN**
SCALE 1/4"= 1'-0"

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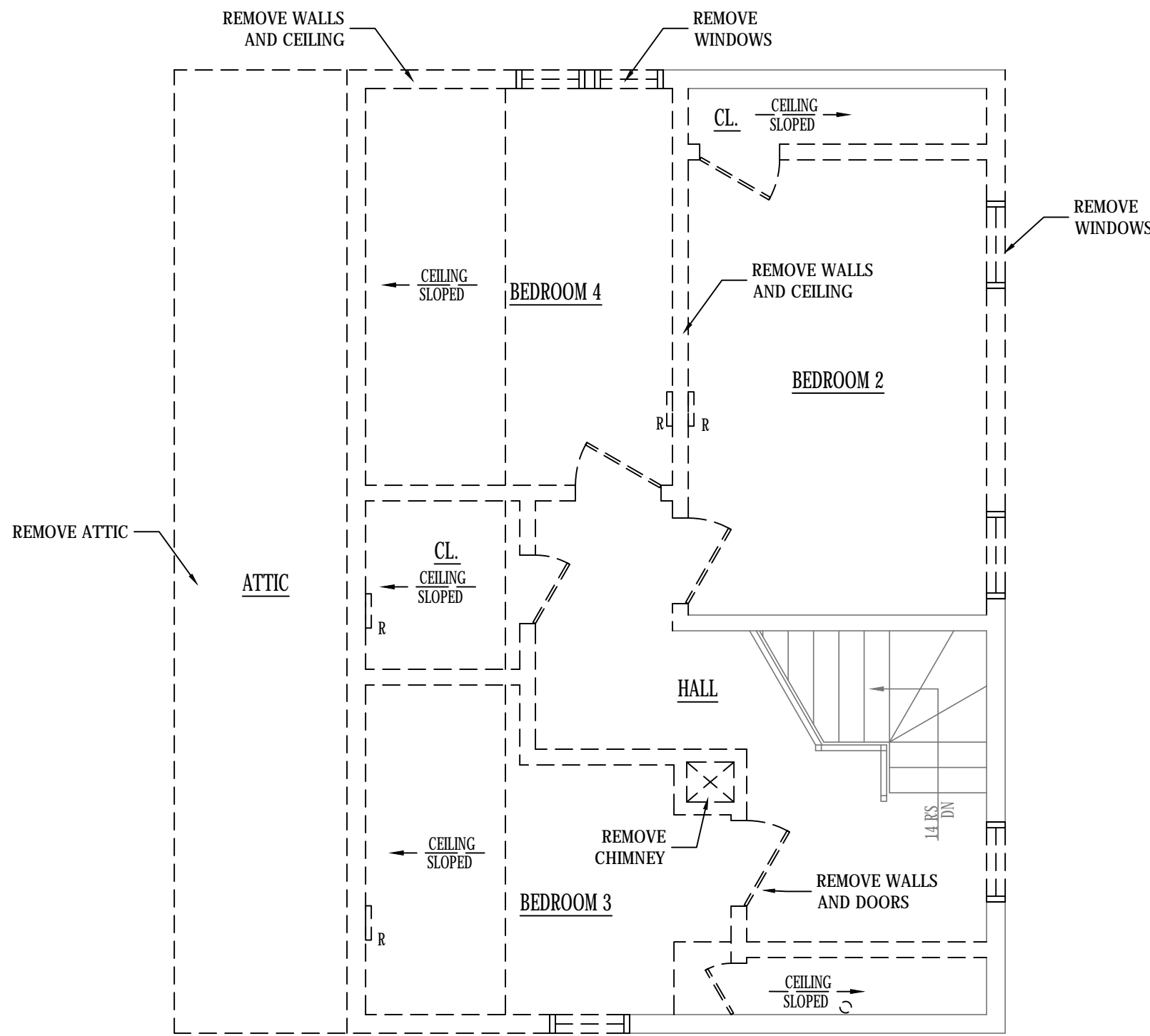
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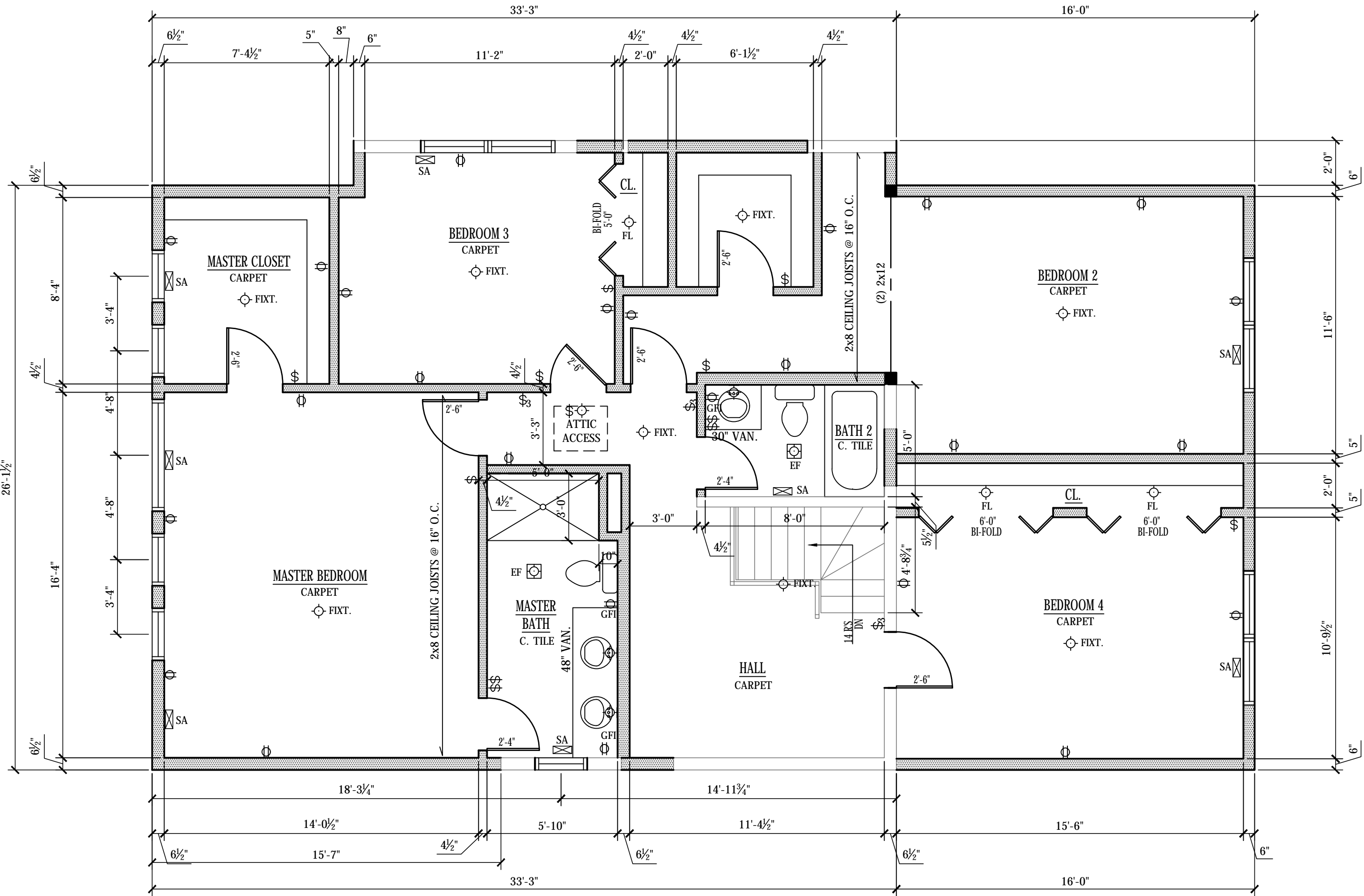
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1 SECOND FLOOR DEMO PLAN
A5 SCALE 1/4"= 1'-0"



2 SECOND FLOOR PLAN
A5 SCALE 1/4"= 1'-0"

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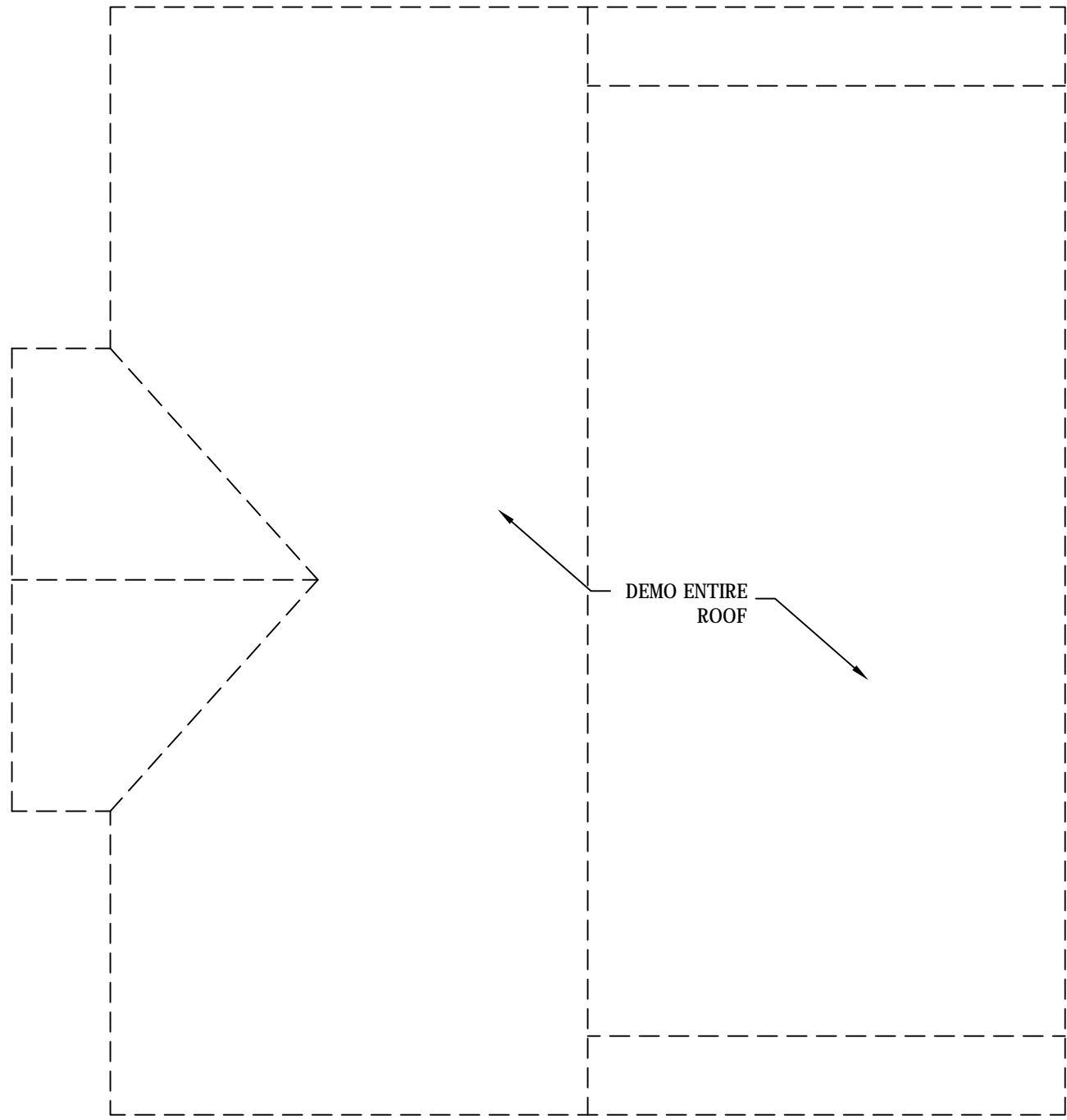
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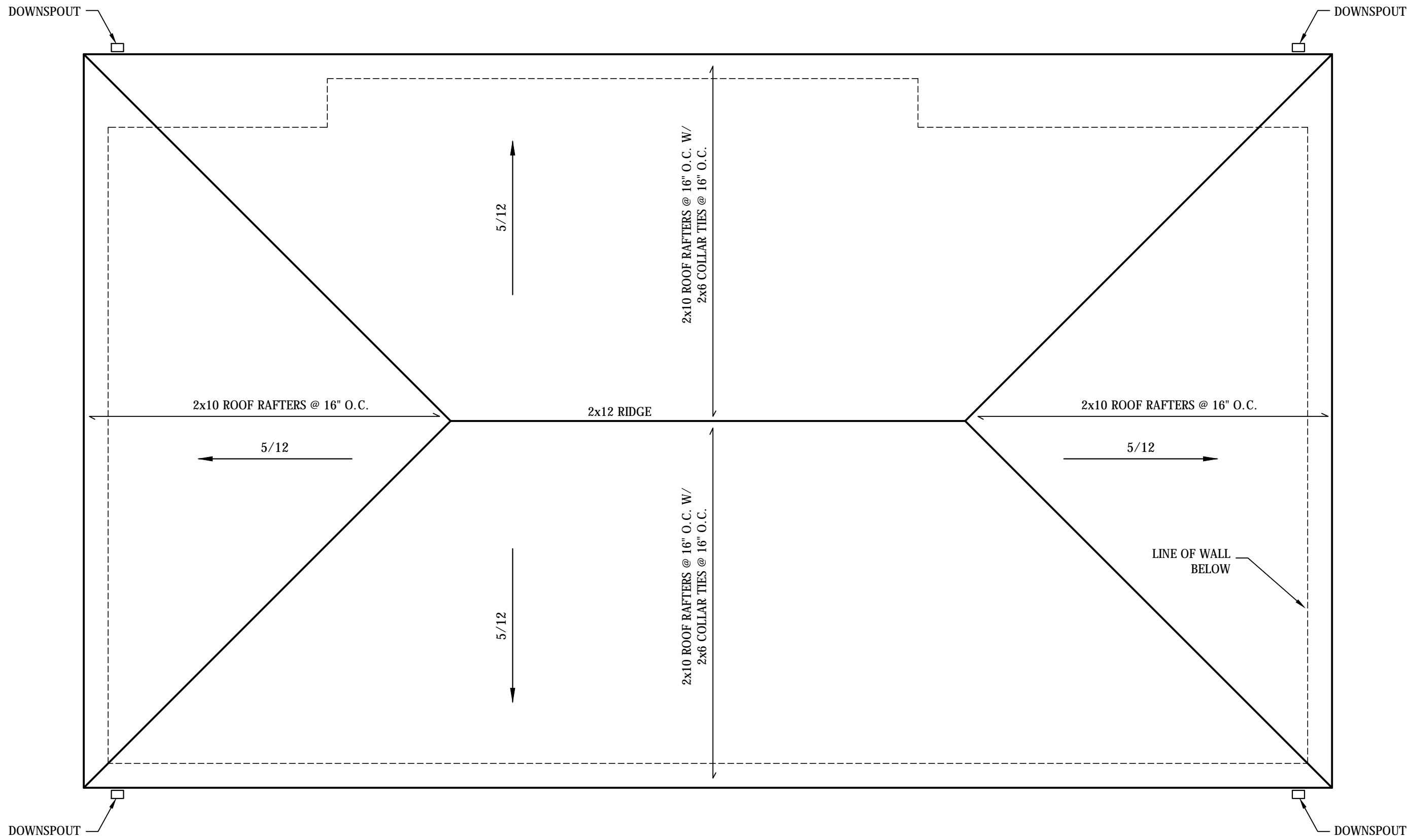
A5

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PROJECT NUMBER



1 ROOF DEMO PLAN
A6 SCALE 1/4"= 1'-0"



2 ROOF PLAN
A6 SCALE 1/4"= 1'-0"

NOTES:
PROVIDE HURRICANE CLIPS AT ALL
ROOF RAFTERS.
PROVIDE CONTINUOUS RIDGE VENT AND
SOFFIT VENTS.

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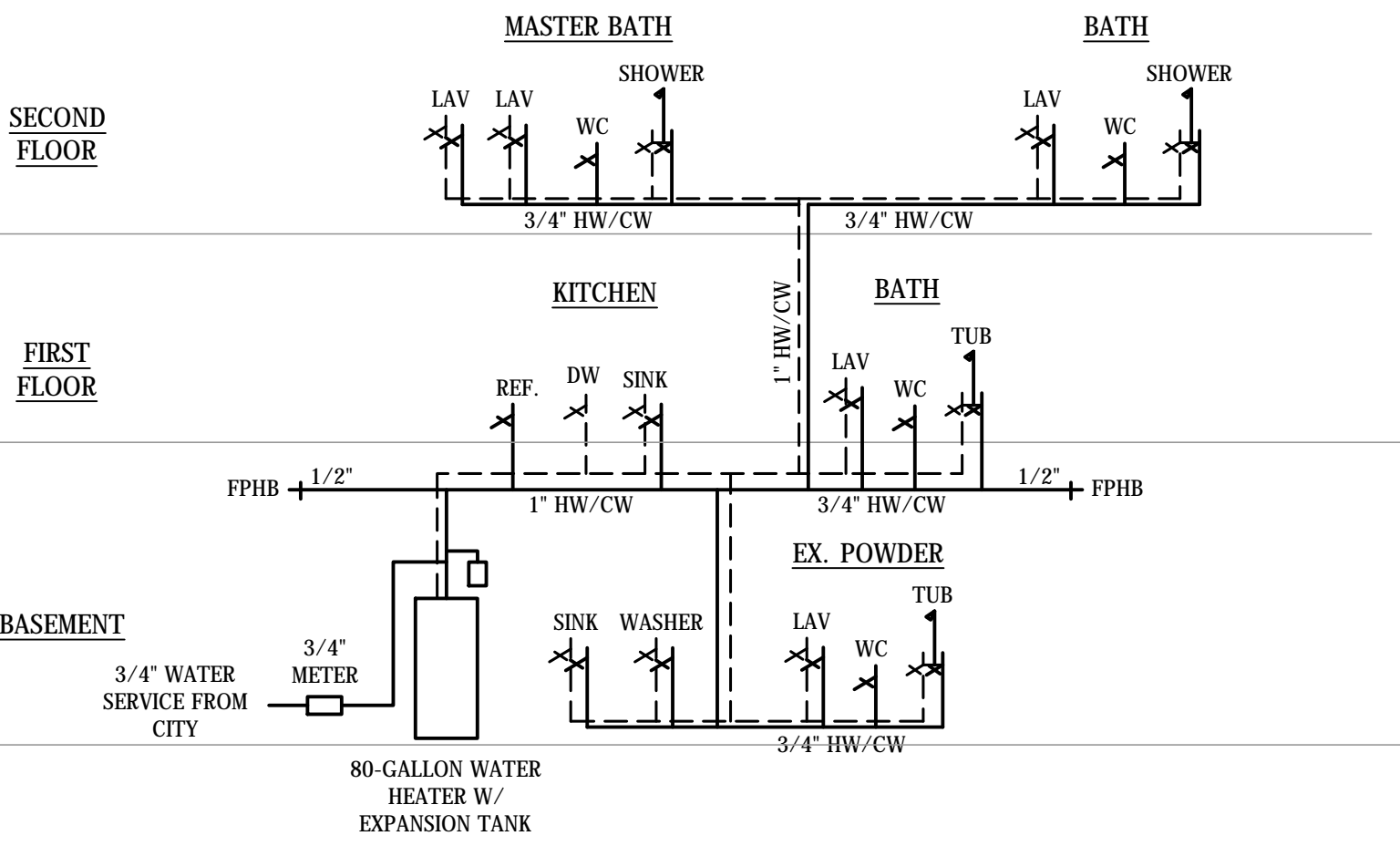
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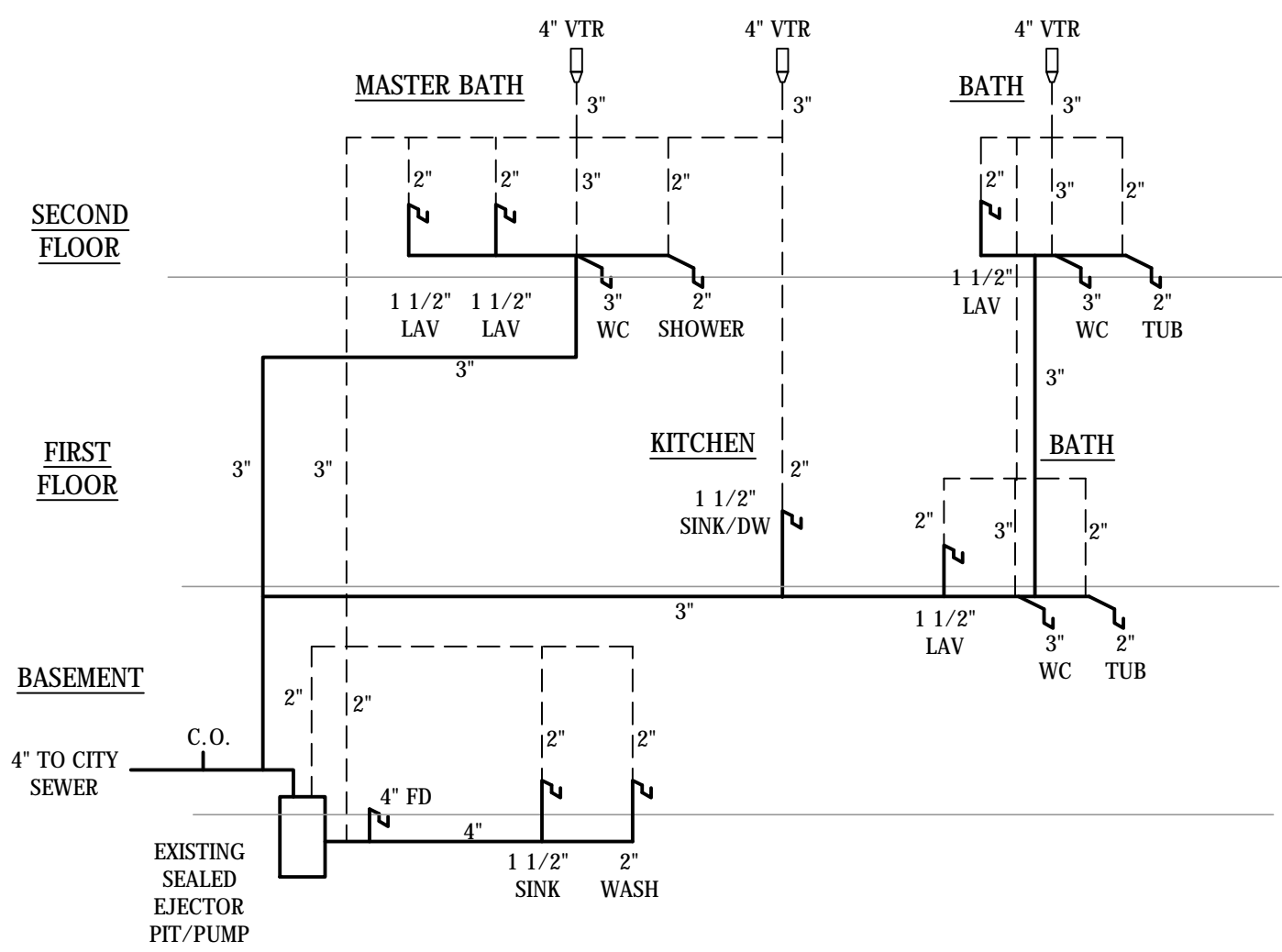
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PLUMBING SUPPLY RISER DIAGRAM

NOT TO SCALE

ALL FIXTURE CONNECTIONS ARE 1/2"
ALL SUPPLY LINES ARE TO BE TYPE 1" COPPER



PLUMBING WASTE RISER DIAGRAM

NOT TO SCALE

ALL WASTE/VENT LINES ARE TO SCH. 40 PVC

PLUMBING NOTES:

A STACK TEST IS REQUIRED ON ALL WASTE AND VENT PIPING AT THE TIME OF THE ROUGH AND UNDERGROUND INSPECTIONS.
75 PSI AIR TEST OR WATER PRESSURE REQUIRED ON WATER PIPING AT TIME OF ROUGH INSPECTION.
ALL ABANDONED WASTE PIPING MUST BE PROPERLY CAPPED AND MAY NOT HAVE A DEAD END MORE THAN 10FT FROM A VENT.
ANY UNUSED WATER PIPING SHALL BE CAPPED WITHIN TWO FEET OF THE MAIN.
WATER SERVICE FROM MAIN TO BUILDING TO BE INSTALLED BY A LICENSED PLUMBER.

GENERAL PLUMBING NOTES

- IT IS THE INTENT OF THESE DRAWINGS AND ATTACHED ARCHITECTURAL AND PLUMBING SPECIFICATIONS THAT THE PLUMBING CONTRACTOR SHALL PROVIDE, DELIVER AND INSTALL ALL NEW PLUMBING SYSTEMS, SANITARY, STORM, HOT AND COLD WATER DISTRIBUTION PIPING, WATER SERVICE WITH ALL ACCESSORIES, PLUMBING FIXTURES AND EQUIPMENT, SPECIALTIES, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR COMPLETE INSTALLATION OF ALL PLUMBING SYSTEMS, GUARANTEES AND SERVICE.
- THE GENERAL CONDITIONS, LATEST A.I.A. EDITION, SUPPLEMENTARY GENERAL CONDITIONS AND SPECIFICATIONS ARE A PART OF THIS CONTRACT.
- OSHA RULES, REGULATIONS AND REQUIREMENTS ARE A PART OF THIS CONTRACT. PLUMBING CONTRACTOR SHALL FOLLOW THEM ALONG WITH STATE AND LOCAL REQUIREMENTS FOR THE SAFETY OF WORKERS ON THE JOB AND PASSERS-BY.
- PROVIDE ALL NECESSARY LIABILITY INSURANCE POLICIES AS REQUIRED BY THE ARCHITECTURAL SPECIFICATIONS. PLUMBING CONTRACTOR SHALL KEEP THE ARCHITECT, HIS CONSULTANTS AND THE OWNER OF THE PROJECT HARMLESS FROM ALL CLAIMS, LOSSES, EXPENSES OF ANY KIND, INCLUDING BUT NOT LIMITED TO ATTORNEYS' EXPENSES AND FEES.
- THIS CONTRACTOR IS REQUIRED TO INDEMNIFY THE ARCHITECT, ENGINEER & THEIR CONSULTANTS AND THE OWNER OF THE PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO INSTALL ALL ITEMS SPECIFIED USING CONSTRUCTION METHODS THAT WILL PROTECT AT ALL TIMES PROPERTY PREVENT BODILY INJURY AND /OR DEATH. SPECIAL ATTENTION AND PRECAUTION SHALL BE PAID BY THE CONTRACTOR IN SELECTING THE SAFEST METHODS OF TRENCHING AND SCAFFOLDING.
- THE ENGINEER/ARCHITECT HAS NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITY, SUPERVISION OR TO SUPERVISE SAFETY AND DID NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBLY.
- ALL WORK SHALL BE EXECUTED IN STRICT ACCORDANCE WITH THE STATE OF ILLINOIS PLUMBING CODE AND LOCAL CODES, ACCEPTED BY THE ARCHITECT AND LEFT IN PERFECT OPERATING CONDITION.
- PLUMBING CONTRACTOR SHALL VISIT THE SITE AND BECOME WELL FAMILIAR WITH ALL EXISTING CONDITIONS PRIOR TO SUBMITTING HIS FINAL BID. IF THERE IS ANY DISCREPANCY NOTIFY THE ARCHITECT AT ONCE.
- OBTAIN AND PAY ALL FEES AND PERMITS TO ALL PRIVATE AND PUBLIC AGENCIES HAVING JURISDICTION OVER THE PROJECT.
- SUBMIT AND OBTAIN AN APPROVAL FROM THE ARCHITECT PRIOR TO ORDERING, MANUFACTURING, PURCHASING OR INSTALLING ANY EQUIPMENT.

- CONSULT AND CHECK AT ALL TIMES THE LATEST ARCHITECTURAL, MECHANICAL, ELECTRICAL AND EQUIPMENT DRAWINGS, WHICH ARE A PART OF THIS CONTRACT, FOR EXACT LOCATION OF EACH PLUMBING FIXTURE, EQUIPMENT, DRAIN AND WATER REQUIREMENTS. LOCATE ANY PORTION OF PIPING REQUIRED DUE TO DUCTWORK, ARCHITECTURAL REVISIONS, FIELD CONDITIONS OR ANY OTHER INTERFERENCES.
- ALL EXCAVATING AND BACKFILLING FOR THE ENTIRE PLUMBING INSTALLATION SHALL BE PROVIDED BY PLUMBING CONTRACTOR.
- PROVIDE ACCESSIBLE SHUT-OFF VALVES FOR EVERY PLUMBING FIXTURE, PIECE OF EQUIPMENT AND BRANCH-OFF PIPING. VALVES SHALL BE OF THE SAME MAKE FOR THE ENTIRE PLUMBING INSTALLATION, EXCEPT AS SPECIFIED OTHERWISE ON THE DRAWINGS.
- PROVIDE A P-TRAP ON EACH PIECE OF EQUIPMENT OR FIXTURE NOT HAVING AN INTEGRAL PART OF SAME INTO SEWER SYSTEM.
- WATER PIPING SHALL BE COPPER TYPE L FOR ABOVE GROUND INSTALLATION AND COPPER OR CAST IRON FOR UNDERGROUND INSTALLATION. USE SAME MATERIAL FOR ENTIRE INSTALLATION. DISSIMILAR PIPING MATERIAL SHALL NOT BE ACCEPTABLE. RUN COLD AND HOT WATER PIPING ABOVE CEILING AND DROP DOWN INTO WALLS EXCEPT AS SPECIFIED OTHERWISE OR REQUIRED DUE TO FIELD CONDITIONS.
- COVER ALL COLD WATER PIPING AND STORM SEWERS WITH 1" THICK INSULATION AND VAPOR BARRIER. COVER ALL HOT WATER PIPING WITH 1" THICK INSULATION AND 4 OZ. CANVAS JACKET. APPLY MANUFACTURER'S RECOMMENDATIONS.
- VALVES:
GATE VALVES UP TO 2" SHALL BE BRONZE BODY, NON-RISING STEM AND HAND WHEEL WITH EDGE AND DISK THREADED OR SOLDERED ENDS. BALL VALVES SHALL BE BRONZE BODY, STAINLESS STEEL BALL, TEFLON SEATS, LEVER HANDLE, SOLDER OR THREADED ENDS. CRANE, POWELL AND STOCKHAM ARE APPROVED MANUFACTURERS. PROVIDE VALVES AS REQUIRED TO ISOLATE ALL FIXTURES AND EQUIPMENT.
- CLEAN OUTS:
CONTRACTOR SHALL PROVIDE CLEAN OUTS WITH THREADED BRASS PLUGS IN HORIZONTAL SOIL AND WASTE PIPE, AT THE BASE OF STACKS, CHANGES IN DIRECTION, AT ALL OTHER POINTS AS REQUIRED FOR CLEANING AND CODE COMPLIANCE, CLEAN OUTS SHALL BE J.R. SMITH OR APPROVED EQUAL.
- SINKS AND FIXTURES:
FIXTURE TYPES SHALL BE SHOWN ON ARCHITECTURAL DRAWINGS. INSTALL IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. PROVIDE A TRAP FOR EACH FIXTURE, EASILY REMOVABLE FOR CLEANING AND SERVICE. VERIFY SIZE OF ROUGH-IN CONNECTION PRIOR TO BEGINNING WORK.

- CLEANING AND TESTING:
CONTRACTOR SHALL FLUSH AND CLEAN OUT ALL DOMESTIC WATER PIPING IN ACCORDANCE WITH AWWA STANDARDS AND ALL LOCAL CODES. SANITARY AND VENT PIPING SHALL BE TESTED PRIOR TO BEING PLACED IN SERVICE.
- AIR TEST:
FILL PIPE SYSTEM WITH AIR AND MAINTAIN 5 PSI FOR 15 MINUTES WITHOUT ADDITION OF AIR.
- WATER TEST:
MAINTAIN WATER PRESSURE OF AT LEAST TEN (10) FEET OF HEAD AT ALL POINTS OF SYSTEM FOR AT LEAST 15 MINUTES.
- ALL HANGERS, RODS, SUPPORTS, SUPPLIES, UNISTRUTS, P-STRAPS, STOPS, VALVES, SLEEVES AND MISCELLANEOUS ITEMS SHALL BE FURNISHED AND INSTALLED BY PLUMBING CONTRACTOR AS REQUIRED IN FIELD.
- SANITARY AND STORM SEWER PIPING INSIDE OF BUILDING SHALL BE SERVICE DUTY CAST IRON AND VCP-700 FOR OUTSIDE OF BUILDING.
- ALL PIPING PASSING THRU 1 HOUR OR MORE FIRE OR SMOKE BARRIER RATED WALLS SHALL BE CAULKED SMOKE-TIGHT WITH NON-COMBUSTIBLE MATERIAL. FIBERGLASS SHALL NOT BE ACCEPTABLE.
- PIPING INSULATION, COVERING VAPOR BARRIER AND ADHESIVES SHALL HAVE A FLAME SPREAD RATING NOT MORE THAN 20 AND A SMOKE DEVELOPED RATING NOT MORE THAN 40. ARMAFLEX AND CANVAS COVERING SHALL NOT BE ACCEPTABLE.
- PROVIDE VACUUM BREAKERS ON ALL HOSE BIBB CONNECTIONS, AND ANTI-SCALDING VALVE FOR HOT WATER SUPPLY SYSTEM.
- ALL PLUMBING WORK SHOWN INSIDE AND OUTSIDE THE PROPERTY LINES IS TO BE PERFORMED BY PLUMBING CONTRACTOR.
- INSTALL INSULATING COUPLINGS ON ALL PLUMBING PIPING CONNECTIONS TO PREVENT CORROSION AND ELECTROLYSIS OR GALVANIC ACTION FROM DISSIMILAR METAL CONNECTIONS.
- OMISSIONS FROM THE ARCHITECT'S DRAWINGS OR SPECIFICATIONS OF ANY ITEM NECESSARY FOR THE PROPER COMPLETION OR OPERATION OF THE WORK SHALL NOT RELIEVE THE CONTRACTOR FROM FURNISHING SAME WITHOUT ANY ADDITIONAL COST TO THE OWNER.
- ALL NEW GAS PIPING WILL REQUIRE A 25LB AIR TEST AT TIME OF ROUGH INSPECTION.
- ALL EXISTING PLUMBING THAT MAY BE DEEMED UNSAFE OR HAZARDOUS SHALL BE REVISED IN ACCORDANCE WITH THE ILLINOIS PLUMBING CODE.

ELECTRICAL LEGEND

- 6" RECESSED LIGHT FIXTURE
- WALL SCONCE
- LIGHT FIXTURE
- PORCELAIN LIGHT FIXTURE
- FLUORESCENT LIGHT FIXTURE WITH LENS
- SINGLE POLE TOGGLE SWITCH
- 3 WAY SWITCH
- 4 WAY SWITCH
- DIMMER SWITCH
- SINGLE RECEPTACLE OUTLET ON DEDICATED CIRCUIT
- GROUND FAULT (GFI) RECEPTACLE
- RECEPTACLE
- TEL/DATA OUTLET
- CABLE OUTLET
- EXHAUST FAN
- CEILING FAN
- PROGRAMMABLE THERMOSTAT
- DOORBELL
- SMOKE DETECTOR (HARDWIRED)
- CARBON MONOXIDE DETECTOR (HARDWIRED)

SEPARATE CIRCUITS SHALL BE PROVIDED FOR ALL RANGES, OVENS, WATER HEATER, LAUNDRY, GARBAGE DISPOSAL, MICROWAVE, COMPACTOR, DISHWASHER, FOOD FREEZER, REFRIGERATOR, WHOLE HOUSE VACUUM, TUBS WITH PUMPS, STEAM GENERATORS, SUMP AND EJECTOR PUMPS, FURNACES AND AIR CONDITIONERS.

HVAC LEGEND

- RETURN AIR 200 CFM 6x12
- SUPPLY AIR 150 CFM 4x12

WALL LEGEND

- WALL TO BE DEMOLISHED
- EXISTING WALL TO REMAIN
- NEW 2x FRAME WALL

ELECTRICAL NOTES

ELECTRICAL LOAD DIAGRAM TO BE PROVIDED BY ELECTRICAL CONTRACTOR

PROVIDE RECESS INCANDESCENT LIGHT FIXTURE WITH SOLID LENS OR FLUORESCENTS IN ALL CLOSETS 2'-0" DEEP OR LESS ALL RECESSED CAN FIXTURES SHALL HAVE LENS COVERS AND BE NO LESS THAN 6" HORIZONTALLY IN FRONT OF CLOSET SHELF OR STORAGE AREAS IN COMPLIANCE WITH THE NATIONAL ELECTRIC CODE

ALL ELECTRICAL INSTALLATIONS SHALL BE PER THE NATIONAL ELECTRICAL CODE AND PER LOCAL ORDINANCES.

CENTERLINE OF WALL SWITCHES ON FIRST FLOOR NOT TO EXCEED 48" ABOVE FINISHED FLOOR

CENTERLINE OF RECEPTACLES ON FIRST FLOOR TO BE NOT LESS THAN 15" ABOVE FINISHED FLOOR

ANY OUTLET BOX WITHIN LIVING SPACES THAT COULD REASONABLY ACCOMMODATE A CEILING FAN SHALL BE INSTALLED FOR CEILING FAN SUPPORT. ONLY BOXES LISTED FOR THIS APPLICATION SHALL BE PERMITTED AS THE SOLE MEANS OF SUPPORT.

PROVIDE SWITCHED ATTIC LIGHTING AT ACCESS PER LOCAL CITY CODE.

RECEPTACLES SERVING KITCHEN COUNTER SHALL BE SPACED IN ACCORDANCE WITH THE CURRENT STATE AND LOCAL CODES AND SHALL HAVE GFI CIRCUIT PROTECTION.

ALL APPROVED SMOKE DETECTORS SHALL BE UL LISTED AND BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. SMOKE DETECTORS SHALL BE HARDWIRED WITH BATTERY BACKUP.

A SEPARATE 20 AMP CIRCUIT IS REQUIRED FOR EACH BATHROOM.

ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT, SINGLE PHASE, 15 AND 20 AMPERE RECEPTACLE OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS SHALL BE PROTECTED BY AN ARC FAULT CIRCUIT INTERRUPTER. (1999 N.E.C., 210-12)

PROVIDE MECHANICAL VENTILATION FOR BATHROOM. THE MINIMUM VENTILATION RATE SHALL BE 50 CFM FOR INTERMITTENT VENTILATION. PIPE MATERIAL SHALL BE METALLIC OR RIDGED METAL FLEXIBLE DUCT, PVC OR SHEET METAL. PIPE MUST BE MECHANICALLY ANCHORED AND TRAPPED, VENT DIRECTLY TO THE OUTSIDE BY AN APPROVED METHOD.

INSTALL EXHAUST FAN AS SHOWN AND VENT TO EXTERIOR, TYP. SEE SPECIFICATIONS.

CONTRACTOR TO VERIFY ADEQUACY OF SPECIFIED PANEL FOR POWER REQUIREMENTS OF HOUSE.

ANY CEILING BOX IN THE AREA OF THE CENTER OF THE ROOM SHALL BE A FAN RATED BOX. (314.27(D) AMENDED)

RECEPTACLES SERVING KITCHEN COUNTER SHALL BE SPACED IN ACCORDANCE WITH THE CURRENT STATE AND LOCAL CODES AND SHALL HAVE GFI CIRCUIT PROTECTION. A RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH WALL COUNTERTOP SPACE THAT IS 12 IN. OR WIDER. RECEPTACLE OUTLETS SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24 IN. MEASURED HORIZONTALLY FROM A RECEPTACLE OUTLET IN THAT SPACE.

RECEPTACLES SHALL BE INSTALLED SUCH THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 1.8 M (6 FT) FROM A RECEPTACLE OUTLET.

ALL APPROVED SMOKE DETECTORS SHALL BE UL LISTED AND BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. SMOKE DETECTORS SHALL BE PHOTOELECTRIC TYPE. SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS SHALL BE INTERCONNECTED.

IN ALL AREAS SPECIFIED IN 210.52, ALL 125-VOLT, 15-AND 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER RESISTANT RECEPTACLES. (406.11)

ALL 120-VOLT, SINGLE PHASE, 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER COMBINATION-TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. (210.12(B))

GENERAL DEMOLITION NOTES

PROVIDE TEMPORARY BRACING AND SHORING WITH CONNECTIONS OF SUFFICIENT STRENGTH TO BEAR IMPOSED LOADS, TO PROTECT ALL PERSONS AND PROPERTY, AND TO ENSURE PROPER ALIGNMENT. COMPLY WITH ALL STATE, O.S.H.A. AND LOCAL CODES. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR PROVIDING ADEQUATE BRACING OF EXISTING WALLS DURING DEMOLITION AND ERECTION TO PREVENT DAMAGE DUE TO HIGH WINDS OR OTHER LATERAL LOADS AND CONSTRUCTION IMPACTS. CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR DAMAGE DUE TO HIS/HER FAILURE TO TAKE SUCH PRECAUTIONS.

FIELD VERIFY SCOPE OF WORK & EXISTING CONDITIONS CAREFULLY PRIOR TO COMMENCEMENT OF DEMOLITION WORK & NOTIFY ARCHITECT IF ANY DISCREPANCIES FOUND. REROUTE/ PRESERVE ANY ELECTRICAL LINES, PIPING, ETC. WHEREVER NECESSARY IN ORDER TO REUSE FOR NEW MECHANICAL / ELECTRICAL EQUIPMENT - REFER TO MECHANICAL & ELECTRICAL DRAWINGS

ALL DEMOLITION WORK IS SHOWN IN DASHED LINE.

G.C. TO COORDINATE SCOPE OF DEMOLITION W/ PROPOSED WORK.

ALL CONSTRUCTION DESIGNATED TO REMAIN TO BE PROTECTED FROM DAMAGE
CAP & SEAL ALL EXISTING DISTRIBUTION & RETURN GRILLES / DUCTS, HOT & COLD WATER PIPING, ETC. FOR REWORKING PER PROPOSED REMODELING & ADDITION

GENERAL NOTES

PROVIDE DOUBLE JOISTS UNDER PARALLEL PARTITIONS AND AT ALL SPECIAL LOADING CONDITIONS (i.e. BATHTUBS, WASHERS, ETC.)

INSTALLATION OF MANUFACTURED FLOOR JOISTS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS. PROVIDE SIMPSON H1 RAFTER CLIP OR EQUAL AT ALL RAFTER TO PLATE CONNECTIONS.

ALL DOOR AND WINDOW LINTELS SHALL BE A MIN. OF (2) 2x12's U.N.G. (TYP.)

EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE (1) OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNITS MUST BE OPERABLE FROM THE INSIDE, OPERATING WITHOUT THE USE OF TOOLS. WHERE WINDOWS ARE PROVIDED, THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 3'-6" ABOVE THE FLOOR. ESCAPE WINDOWS FROM SLEEPING ROOMS SHALL HAVE A MIN. CLEAR OPENING OF X SQUARE FEET. THE MIN. CLEAR OPENING HEIGHT DIMENSION SHALL BE 2'-4" AND THE MIN. CLEAR WIDTH DIMENSION SHALL BE 2'-0". EGRESS WINDOWS AND DOORS MUST COMPLY WITH SECTION 310 (1998 I.O.T.F.D.C.)

ALL GLAZING SHALL CONFORM TO CURRENT STATE AND LOCAL CODES

GLAZING SHALL BE TEMPERED IN WINDOWS ADJACENT TO DOORS, WITHIN DOORS, AND GLAZING ADJACENT TO TUBS.

STAIRWAY DESIGN- MINIMUM 7'-0" CONTINUOUSLY CLEAR HEAD ROOM SHALL BE MAINTAINED. THE HEIGHT SHALL BE MEASURED VERT. FROM THE STAIR NOSING TO A LINE PARALLEL WITH THE RUN OF THE STAIR. ALL STAIRS SHALL HAVE A MINIMUM OF 3'-0" WIDTH. BASEMENT STAIRS MAY BE 2'-6" CLEAR OF THE HANDRAIL. ALL TREADS SHALL BE A MINIMUM OF 11" IN WIDTH INCLUDING NOSING AND SHALL BE UNIFORM IN WIDTH. THE RISE OF EACH STEP SHALL BE NOT MORE THAN 7 1/2". THE HEIGHT OF EACH RISER IN A STAIR RUN SHALL BE UNIFORM IN HEIGHT.

PROVIDE FIRE STOPPING AT ALL CONCEALED SPACES BETWEEN STAIR STRINGER AT TOP AND BOTTOM OF RUN. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALL AND SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 5/8" TYPE 'X' GYPSUM BOARD.

SPECIFICATION SHEETS FOR ALL APPLIANCES, FURNACE, AND GAS WATER HEATER, WATER HEATER, AND MECHANICAL EQUIPMENT SHALL BE PROVIDED TO THE VILLAGE.

- SUPPLY DUCTS IN UNCONDITIONED ATTIC HAVE INSULATION -- R-8 (TO COMPLY WITH ENERGY STAR PRESCRIPTIVE PATH)
 - SUPPLY DUCTS IN UNCONDITIONED ATTIC HAVE INSULATION -- R-6 (TO COMPLY WITH ENERGY STAR PERFORMANCE PATH)
 - ALL OTHER SUPPLY DUCTS AND ALL RETURN DUCTS IN UNCONDITIONED SPACE HAVE INSULATION -- R-6
- INSTALL INSULATED DUCTWORK, BOXES, AND BOOTS IN ALL UNCONDITIONED SPACES TO MEET EITHER THE PRESCRIPTIVE OR PERFORMANCE PATH.
INSTALL ALL DUCTS IN UNCONDITIONED SPACES WITHOUT COMPRESSING THE INSULATION.

HVAC CALCULATIONS AND DIAGRAM TO BE PROVIDED BY HVAC CONTRACTOR

ALL CONTRACTORS SHALL FOLLOW O.S.H.A. (29 CFR PART 1926) SAFE WORK PRACTICES PERFORM MATERIAL SAFETY DATA RECORDING AND EMPLOYEE TRAINING REQUIREMENTS PER FEDERAL LAW.

ADD OWNER AS ADDITIONAL INSURED FOR ALL CONTRACTORS WORKING ON SITE. SUBMIT CERTIFICATES PRIOR TO START OF WORK.

ALL WORK SHALL COMPLY WITH LOCAL ORDINANCES AND CODES AND COUNTY HEALTH DEPARTMENT REQUIREMENTS.

A PERMANENT CERTIFICATE SHALL BE COMPLETED AND POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL BY THE BUILDER OR REGISTERED DESIGN PROFESSIONAL. THE CERTIFICATE SHALL NOT COVER OR OBSTRUCT THE VISIBILITY OF THE CIRCUIT DIRECTORY LABEL, SERVICE DISCONNECT LABEL OR OTHER REQUIRED LABELS. THE CERTIFICATE SHALL LIST THE PREDOMINANT R-VALUES OF INSULATION INSTALLED IN OR ON CEILING/ROOF, WALLS, FOUNDATION (SLAB, BASEMENT WALL, CRAWLSPACE WALL AND/OR FLOOR) AND DUCTS OUTSIDE CONDITIONED SPACES; U-FACTORS FOR FENESTRATION AND THE SOLAR HEAT GAIN COEFFICIENT (SHGC) OF FENESTRATION, AND THE RESULTS FROM ANY REQUIRED DUCT SYSTEM AND BUILDING ENVELOPE AIR LEAKAGE TESTING DONE ON THE BUILDING, WHERE THERE IS MORE THAN ONE VALUE FOR EACH COMPONENT. THE CERTIFICATE SHALL LIST THE VALUE COVERING THE LARGEST AREA. THE CERTIFICATE SHALL LIST THE TYPES AND EFFICIENCIES OF HEATING, COOLING AND SERVICE WATER HEATING EQUIPMENT, WHERE A GAS-FIRED UNVENTED ROOM HEATER, ELECTRIC FURNACE, OR BASEBOARD ELECTRIC HEATER IS INSTALLED IN THE RESIDENCE. THE CERTIFICATE SHALL LIST "GAS-FIRED UNVENTED ROOM HEATER," "ELECTRIC FURNACE" OR "BASEBOARD ELECTRIC HEATER," AS APPROPRIATE. AN EFFICIENCY SHALL NOT BE LISTED FOR GAS-FIRED UNVENTED ROOM HEATERS, ELECTRIC FURNACES OR ELECTRIC BASEBOARD HEATERS.

THE HVAC SYSTEM SHALL BE CONTROLLED BY A PROGRAMMABLE THERMOSTAT.

EXTERIOR WALLS, INCLUDING BEHIND BATH TUBS, SHALL HAVE CONTINUOUS AIR BARRIER.

WHEN A PORTION OF THE HVAC SYSTEM IS LOCATED OUTSIDE THE BUILDING THERMAL ENVELOPE, DUCT TIGHTNESS SHALL BE VERIFIED BY A 3RD PARTY IN ACCORDANCE WITH SECTION R403.3.3.

WHEN FOLLOWING THE PRESCRIPTIVE METHOD ALL HOT WATER PIPING SHALL BE INSULATED TO A MINIMUM OF R-3 PER SECTION R403.5.3.

AT LEAST 75% OF THE LAMPS IN THE PERMANENTLY INSTALLED LIGHT FIXTURES MUST BE HIGH EFFICIENCY BULBS. (SECTION 404.1)

ALL REQUIRED HANDRAILS SHALL CONFORM TO SECTION CURRENT STATE AND LOCAL CODES

ALL COLUMNS ARE TO BE 2X6 PSL COLUMNS (U.N.O.) AND CHASED CONTINUOUSLY TO STEEL MEMBERS IN FIRST FLOOR FRAMING OR CONCRETE FOUNDATION WALL.

CONTRACTOR TO PROVIDE PRODUCT MANUFACTURER LITERATURE AND INSTALLATION INSTRUCTIONS FOR FURNACE ADDRESSING CLEARANCE TO COMBUSTIBLES. ALSO, ADVISE LOCATION, BTU RATING AND SOURCE OF COMBUSTION AIR TO MEET REQUIREMENTS OF

PROVIDE SAFETY PAN W/ A FLOOR DRAIN FOR CLOTHES WASHING MACHINE - NOT IN BASEMENT.

ALL TILE FLOORS SHALL HAVE A "DURAROCK" OR EQUAL UNDERLAYMENT W/ ADHESIVE.

TYPICAL INTERIOR FINISH: 5/8" GYPSUM BOARD FINISH AT ALL WALLS, PAINTED (TYP.). 5/8" GYPSUM BOARD INTERIOR FINISH AT ALL CEILINGS, PAINTED (TYP.).

SEE SCHEDULE FOR MILLWORK INFORMATION.

NO LOW AIR RETURNS @ ROOMS WITH WAINSCOTTING.

PLUMBING: ALL PLUMBING IS TO BE INSTALLED PER THE CURRENT ILLINOIS STATE PLUMBING CODE AND VILLAGE AMENDMENTS

PROVIDE MECHANICAL VENTILATION FOR BATHROOM. THE MINIMUM VENTILATION RATE SHALL BE 50 CFM FOR INTERMITTENT VENTILATION. PIPE MATERIAL SHALL BE METALLIC OR RIDGED METAL FLEXIBLE DUCT, PVC, OR SHEET METAL. PIPE MUST BE MECHANICALLY ANCHORED AND TRAPPED. VENT DIRECTLY TO THE OUTSIDE BY AN APPROVED METHOD.

ALL APPLIANCES, PLUMBING FIXTURES, VANITY CABINETS WITH TOPS, BASE AND WALL CABINETS AND COUNTERTOPS TO BE SELECTED BY OWNER. REFER TO FINISH SCHEDULE FOR ALLOWANCES.

SHOWER/ TUB WALL FINISH: PER CODE REQUIREMENTS, A SMOOTH, HARD, NON-ABSORBENT SURFACE BE PROVIDED TO A MINIMUM OF 6'-0" ABOVE THE FLOOR. IF GYPSUM BOARD IS USED AS A BASE FOR TILE OR OTHER MATERIAL, IT MUST BE MANUFACTURED FOR SUCH USE. WALL FINISH AT ALL SHOWER AND TUB LOCATIONS SHALL BE CERAMIC TILE OVER MINIMUM 1/2" "DURAROCK" FOR FULL HEIGHT, TYPICAL.

CONTRACTOR MUST COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS FOR ALL CLIMBING EQUIPMENT AND SAFETY ISSUES, INCLUDING BUT NOT RESTRICTED TO SCAFFOLDING O.S.H.A. REGULATIONS (29 CFR PART 1910). CONTRACTOR MUST CERTIFY WITH DOCUMENTS THAT WORKERS ARE TRAINED IN SCAFFOLD ASSEMBLY AND FALL PROTECTION.

PROVIDE WARNING SIGNS AND FLAGGING TO PREVENT THE PUBLIC FROM APPROACHING THE BUILDING DURING CONSTRUCTION.

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Project Name:

9131 New
England LLC

Project:

First Floor Remodel, Front
Porch and Second Floor
Addition

Address:

9131 New England Ave
Morton Grove, IL



Revised Plans 01.11.20

Revised Plans 12.17.19

Preliminary Plans 11.23.19

Drawn By DH

Checked By

Sheet:

A7

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PROJECT NUMBER

DOUBLE JOISTS BELOW FIREPLACE, BATHROOMS, KITCHEN AND AT ALL PARALLEL WALLS

PROVIDE SIMPSON H1 RAFTER CLIP OR EQUAL AT ALL RAFTER TO PLATE CONNECTIONS.

NOTE:
ALL HEADERS WHETHER BEARING OR OTHERWISE SHALL BE A R10 OR (2) 2X12S SUPPORTED BY 2 JACK STUDS AT 24" WALLS AND (3) 2x12s AT 24" WALLS UNLESS OTHERWISE NOTED.

NOTE:
PROVIDE COLLAR TIES @ 32" O.C. AT LOCATIONS WHERE CEILING JOISTS AND ROOF RAFTERS ARE RUNNING IN DIFFERENT DIRECTIONS

NOTE:
PROVIDE FIRE STOPPING AT ALL CONCEALED SPACES BETWEEN STAIR STRINGERS AT TOP AND BOTTOM OF RUN - ALL WALLS ENCLOSING ACCESSIBLE SPACE BELOW STAIRS SHALL BE PROTECTED WITH 5/8" GYP. BD

CUTS, NOTCHES AND HOLES BORED IN TRUSSES, LAMINATED VENEER LUMBER, GLUE-LAMINATED MEMBERS OR I-JOISTS ARE NOT PERMITTED UNLESS THE EFFECTS OF SUCH ARE SPECIFICALLY ADDRESSED. (SECTION: R502.8.2)

EXTERIOR OR LOAD BEARING WALLS WITH PLATES CUT, DRILLED OR NOTCHED MORE THAN 50% OF THE WIDTH OF THE STUD SHALL HAVE A GALVANIZED METAL TIE 16 GAGE AND 1½ INCHES (1½") WIDE FASTENED TO EACH PLATE. (SECTION: R602.6.1)

EXTERIOR OR LOAD BEARING WALLS WITH STUDS DRILLED WITHIN 5/8" OF THE FACE OF THE STUD SHALL BE REINFORCED WITH A STRUCTURAL STUD SHOE. (SECTION R602.6)

NOTES:
LUMBER FOR ALL FLOOR JOISTS, RAFTERS AND CEILING JOISTS SHALL BE DOUGLAS FIR #1 OR BETTER

IN SLOPED CEILINGS USE A COMBINATION OF CLOSED SPRAY FOAM INSULATION (R-20 MIN) AND R-30 BATTS. INSTALL PER MANUFACTURER'S RECOMMENDATIONS PER RECOMMENDATION ROOFING. CONTRACTOR SHALL NOT PROVIDE SOFFIT OR RIDGE VENTS.

ROOF CONSTRUCTION
STANDING SEAM METAL ROOF ON MANUFACTURER APPROVED SUBSTRATE ON 5/8" EXTERIOR GRADE PLYWOOD ON 2x ROOF RAFTERS @ 16" O.C.

EAVE CONSTRUCTION
ALUM. DRIP EDGE @ ROOF PERIMETER
ALUM. GUTTERS & DOWNSPOUTS ON 1x8 HARDBOARD FASCIA, HARDBOARD SOFFIT WITH CONTINUOUS VENTS

CEILING CONSTRUCTION
5/8" GYPSUM BOARD ON 2x ROOF RAFTERS @ 16" O.C. (SEE PLAN)

FRAME WALL CONSTRUCTION
STUCCO SYSTEM ON 1/2" PLYWOOD SHEATHING COVERED BY TYVEK HOUSE WRAP ON 2x6 WOOD STUDS @ 16" O.C. R-21 KRAFT FACED BATT INSULATION W/ SINGLE BOT. PLATE & DOUBLE TOP PLATE 5/8" GYPSUM BOARD INTERIOR FACE

FLOOR CONSTRUCTION
FINISH FLOORING ON 3/4" T&G PLYWOOD SUB-FLOORING GLUED AND SCREWED ON FLOOR JOIST (SEE PLAN) INSTALL 1/2" CEMENT BOARD UNDERLAYMENT FOR ALL AREA TO RECEIVE TILE

CEILING CONSTRUCTION
5/8" TYPE "X" GYPSUM BOARD ON FLOOR JOISTS (SEE PLAN FOR SIZE, TYPE, AND SPACING)

FRAME WALL CONSTRUCTION
STUCCO SYSTEM ON 1/2" PLYWOOD SHEATHING COVERED BY TYVEK HOUSE WRAP ON 2x6 WOOD STUDS @ 16" O.C. R-21 KRAFT FACED BATT INSULATION W/ SINGLE BOT. PLATE & DOUBLE TOP PLATE 5/8" GYPSUM BOARD INTERIOR FACE

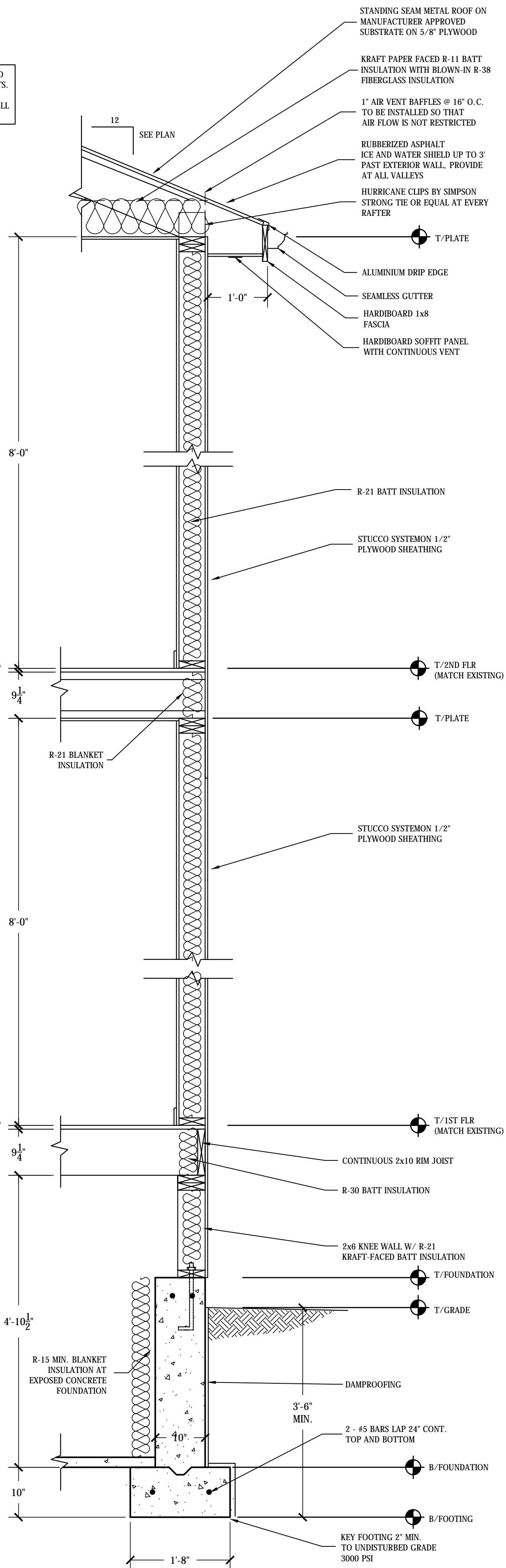
FLOOR CONSTRUCTION
FINISH FLOORING ON 3/4" T&G PLYWOOD SUB-FLOORING GLUED AND SCREWED ON FLOOR JOIST (SEE PLAN) INSTALL 1/2" CEMENT BOARD UNDERLAYMENT FOR ALL AREA TO RECEIVE TILE

FRAME WALL CONSTRUCTION
STUCCO SYSTEM ON 1/2" PLYWOOD SHEATHING COVERED BY TYVEK HOUSE WRAP ON 2x6 WOOD STUDS @ 16" O.C. R-21 KRAFT FACED BATT INSULATION W/ SINGLE BOT. PLATE & DOUBLE TOP PLATE

WOOD PLATE CONSTRUCTION
2x6 TREATED WOOD PLATE W/ 1/2" x 1" 0" LONG ANCHOR BOLTS @ 4" O.C. MAX., AND 12" MAX. FROM CORNERS. PROVIDE SILL SEAL. (SILL PAD)

FOUNDATION WALL CONSTRUCTION
DAMP-PROOFING ON CONCRETE FOUNDATION WALL WITH (2) #5 REIN. CONTINUOUS TOP AND BOTTOM, (1) #4 MIDDLE, AND (1) #6 @ 44" O.C. VERTICALLY ON CONCRETE FOOTINGS

SLAB CONSTRUCTION
2" CONC. SLUSH COAT



1
A8
TYPICAL FRAME WALL SECTION
SCALE 3/4" = 1'-0"

GENERAL NOTES:

- INFORMATION DEPICTED AND DESCRIBED ON THESE DRAWINGS, AND CALLED FOR BY REFERENCE, IS INTENDED TO CONVEY TO OWNER, AND CONTRACTOR/SUB-CONTRACTORS, THE REQUIREMENTS FOR THE WORK OF ARCHITECTURAL AND STRUCTURAL WORK ALL OF WHICH IS INTENDED TO EXPAND AS DEPICTED AND DESCRIBED ON THESE CONSTRUCTION DRAWINGS.
- THE INFORMATION ON THESE DRAWINGS AND SPECIFICATIONS DEPICT AND DESCRIBE THE SIGNIFICANT ELEMENTS OF THE PROPOSED WORK. RELATED WORK EFFORT REQUIRED TO ACCOMPLISH THE DESIRED RESULTS WHICH MAY NOT BE GENERALLY OR SPECIFICALLY CALLED FOR BUT IS ESSENTIAL TO THE EXECUTION OF THE WORK IN ORDER TO PRODUCE A COMPLETE AND USABLE FACILITY, AND REQUIRED FOR SAFE EXECUTION OF WORK, SHALL BE ACCOMPLISHED IN ACCORDANCE WITH ACCEPTED STANDARD PRACTICE AND PREScribed REGULATIONS.
- PROPOSED WORK ACCOMPLISHMENT IS TO BE EXECUTED IN EVERY RESPECT IN ACCORDANCE WITH REQUIREMENTS OF PROVISIONS OF THE APPLICABLE LOCAL, MUNICIPAL, STATE AND FEDERAL OFFICIALS. ADDITIONALLY, ALL WORK SHALL COMPLY WITH THE STATE PLUMBING CODES AND THE NATIONAL ELECTRICAL CODE.
- CONTRACTORS ENGAGED FOR THE EXECUTION OF THE WORK ON THIS PROJECT SHALL EMPLOY ONLY EXPERIENCED AND COMPETENT CRAFTSMEN FOR THE PERFORMANCE OF THE RESPECTIVE WORK SEGMENTS AND THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE SUPERINTENDENCE OF THE WORK.
- UNLESS SPECIFIED OTHERWISE IN CONTRACTOR'S PROPOSAL, IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO MAKE APPLICATION, PAY FEES AND SECURE THE NECESSARY PERMITS FOR THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND THEIR SUB-CONTRACTORS TO COMPLY WITH THE INSPECTION REQUIREMENTS OF VILLAGE AND AS MAY BE REQUIRED BY STATE AND FEDERAL REGULATORY AGENCIES.
- CONTRACTOR AND SUBCONTRACTOR SHALL BECOME FAMILIAR WITH EXISTING CONDITIONS AND ENVIRONS AND NOTE HOW SUCH CONDITIONS MAY IMPACT ON THE PROPOSED WORK. WORK ITEMS DEEMED NOT POSSIBLE TO ACHIEVE SHALL BE PROPOSED BY THE CAUSING CONTRACTOR, TO THE PROPERTY ENGINEER'S ATTENTION FOR RESOLUTION. CLAIMS BASED ON SITE CONDITIONS OR IMPACT OF ENVIRONMENTAL CONDITIONS SHALL BE CONSIDERED INVALID.
- GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL NOTIFY PRIOR TO COMMENCEMENT OF WORK THE LIKELIHOOD OF DAMAGE TO LANDSCAPING AND IMPROVEMENTS ON OWNERS PROPERTY, UNLESS INDICATED IN CONTRACT, COSTS TO REPAIR AND IMPROVEMENTS SHALL BE BY OWNER. GENERAL CONTRACTORS AND SUBCONTRACTORS SHALL TAKE GREAT CARE SO AS NOT TO DAMAGE OR IMPAIR ANY IMPROVEMENTS AS ADJOINING PROPERTIES. INCIDENTAL DAMAGE TO SUCH ADJOIN PROPERTIES, CAUSED BY THE CONSTRUCTION WORK SHALL, UPON ACCEPTANCE OF PROPOSAL BY THAT PROPERTY OWNER, BE COMPLETELY RESTORED BY THE CAUSING CONTRACTOR, TO THE PROPERTY OWNER'S SATISFACTION AND AT NO COST OR INCONVENIENCE TO THE OWNER. SUCH RESTORATION OBLIGATIONS SHALL EXTEND TO NEIGHBORING PRIVATE PROPERTY AND ADJOINING PUBLIC PROPERTY, INCLUDING SIDEWALKS, PARKWAYS, CURBS, AND GUTTERS, THAT NO HAZARDOUS LIQUID OR SOLID SUBSTANCES DISCHARGE DIRECTLY OR INDIRECTLY WITHIN OR WITHOUT THE PROJECT SITE.
- GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR PROVIDING SHORING, BRACING, AND OTHER SAFETY MEASURES AT WORK AREAS, BASED ON EXPERIENCE AND SOUND JUDGMENT AND IN COMPLIANCE WITH APPLICABLE REGULATIONS, SO AS TO PROVIDE FOR SAFE AND SOUND EXECUTION OF WORK, AND TO AFFORD ORDERLY AND SAFE FLOW OF PEDESTRIANS AND VEHICULAR TRAFFIC AND OTHERS WHO MAY COME UPON WORK SITE OR WITHIN THE WORK SITE ON NEARBY PROPERTIES OR PUBLIC WAYS.
- UPON COMPLETION OF WORK, GENERAL CONTRACTORS AND SUB-CONTRACTORS SHALL REMOVE DEBRIS AND UNUSED MATERIALS, THEIR TOOL, EQUIPMENT AND OTHER IMPLEMENTS, AND TO CLEAN THE ENTIRE WORK AREA TO SATISFACTION OF THE OWNER. RESTORATION AND LANDSCAPING IMPROVEMENTS, BY PRIOR AGREEMENT, SHALL BE TO OWNERS SATISFACTION AND RESTORATION OF SITE FOR WORK RELATED TO DEFECTIVE WORKMANSHIP AND/OR MATERIALS SHALL BE BY CONTRACTOR.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE OVERALL PROJECT AND FOR THE OVERALL COORDINATION OF WORK WITH OTHER CONTRACTORS AND THEIR SUB-CONTRACTORS. EACH CONTRACTOR AND RESPECTIVE SUB-CONTRACTORS SHALL BECOME FAMILIAR WITH THE PROJECT AND IN GENERAL WITH THE WORK TO BE PERFORMED BY OTHER CONTRACTORS AND THEIR SUB-CONTRACTORS AND SHALL BE RESPONSIBLE FOR HIS WORK TO COMPLETE THE WORK OF OTHER CONTRACTORS AND THEIR SUB-CONTRACTORS.
- GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL BE AT ALL TIMES AWARE OF THE PROJECT WORK PROXIMITY TO THE NEIGHBORING PROPERTIES AND PUBLIC HIGHWAYS AND SHALL IMPLEMENT SUCH EROSION CONTROL MEASURES AS WILL NOT PERMIT LOOSE SOIL OR THE DEBRIS TO BE DEPOSITED OUTSIDE THE WORK SITE ONTO THOSE ADJOINING PRIVATE AND PUBLIC LANDS NOR ONTO THE ROADSIDE DRAINAGE PROVISIONS, AND, THEY SHALL, RESPECTIVELY ALSO ASSURE THAT NO HAZARDOUS LIQUID OR SOLID SUBSTANCES DISCHARGE DIRECTLY OR INDIRECTLY WITHIN OR WITHOUT THE PROJECT SITE.
- REQUIREMENTS FOR SAFE AND SOUND EXECUTION OF WORK WHICH IS CALLED FOR IN THE CONSTRUCTION DOCUMENTS BY THE ARCHITECT OR PROJECT ENGINEER SHALL BE ACCOMPLISHED BY GENERAL CONTRACTOR AND SUB-CONTRACTORS ENGAGED IN THE CONSTRUCTION WORK IN COMPLIANCE WITH OSHA AND ANY OTHER LOCAL/STATE REGULATIONS. NOTHING IN THE DRAWINGS AND SPECIFICATIONS FOR THE PROJECT SHALL BE CONSTRUED AS GIVING THE ARCHITECT OR PROJECT ENGINEER THE RESPONSIBILITY FOR, NOR THE AUTHORITY TO, DIRECT OR SUPERVISE CONSTRUCTION METHODS, TECHNIQUES, PROCEDURES, OR SAFETY METHODS.
- DO NOT SCALE DRAWINGS. LARGE SCALE DETAILS GOVERN OVER SMALL.
- FOOTINGS SHOWN ARE DESIGNED FOR AN ASSUMED MINIMUM SAFE SOIL BEARING PRESSURE OF 3000 PSF. CONTRACTOR SHALL NOTIFY ARCHITECT AND OWNER IMMEDIATELY IF DARK OR QUESTIONABLE MATERIAL IS ENCOUNTERED, OR SOIL TEST REPORT OR SITE CONDITIONS INDICATE THIS MINIMUM CONDITION IS NOT MET.
- IT IS AGREED, THAT THE PROFESSIONAL SERVICES OF THE ARCHITECT DO NOT EXTEND TO, OR INCLUDE, THE REVIEW OR SITE OBSERVATION OF THE CONTRACTOR'S WORK OR PERFORMANCE, THAT THE OWNER WILL DEFEND, INDEMNIFY AND HOLD HARMLESS THE ARCHITECT FROM ANY CLAIM OR SUIT WHATSOEVER, INCLUDING BUT NOT LIMITED TO ALL PAYMENTS, EXPENSES OR COSTS INVOLVED, ARISING FROM OR ALLEGED TO HAVE ARISEN FROM THE CONTRACTOR'S PERFORMANCE OR THE FAILURE OF THE CONTRACTORS WORK TO CONFORM TO THE DESIGN INTENT AND THE CONTRACT DOCUMENTS, THAT ARCHITECT AND CONTRACTOR, THEIR SUBCONTRACTORS, CONSULTANTS, AGENTS AND EMPLOYEES WAIVE ALL RIGHTS AGAINST EACH OTHER, TO THE EXTENT COVERED BY PROPERTY INSURANCE DURING AND AFTER CONSTRUCTION, THAT ARCHITECT SHALL NOT BE LIABLE TO SECOND PARTIES, INCLUDING OWNER AND CONTRACTORS, REGARDING WORK STOPPAGE, FINES OR ADDITIONAL REQUIRED WORK AS RESULT OF SECOND PARTIES VIOLATING ZONING OR BUILDING CODES REGULATIONS OR CHANGING THE PROJECT DURING CONSTRUCTION SO AS TO BE IN VIOLATION OF THOSE ZONING AND BUILDING CODES REGULATIONS; THAT THE ARCHITECT WILL NOT BE RESPONSIBLE FOR THE REQUIRED CHANGES TO THE PROJECT, INCLUDING REJECTION, REQUIRED BY LOCAL AND/OR STATE AUTHORITIES WHEN OWNER PROCEEDS WITH PERMIT APPLICATION MORE THAN 6 MONTHS AFTER CONSTRUCTION DOCUMENT COMPLETION; AND THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE REMOVAL AND/OR CONTRACTORS' HANDLING IF HAZARDOUS SUBSTANCES, KNOWN OR UNKNOWN PRIOR TO CONSTRUCTION, THE ARCHITECT AGREES TO BE RESPONSIBLE FOR HIS/HER OWN NEGLIGENT ACTS, ERRORS OR OMISSIONS.
- THE CONTRACTOR SHALL INSPECT AND VERIFY ALL DIMENSIONS AT THE JOB SITE AND REPORT TO THE ARCHITECT ANY DISCREPANCIES FORM THE DRAWINGS.
- ALL DIMENSIONS ARE TAKEN FROM FACE OF DRYWALL/SHEATHING OR FACE OF EXISTING CONCRETE UNLESS NOTED OTHERWISE.
- CEILING HEIGHTS NOTED ARE TAKEN FROM FINISH FLOOR.
- THE DIMENSIONS ON THE DRAWINGS ARE REASONABLY ACCURATE FOR THE PURPOSE OF FIGURING; HOWEVER, IN EXECUTION OF WORK ON THE JOB, THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS WITH ACTUAL CONDITIONS.
- ALL WALLS SHALL BE CONSTRUCTED WITH 1/2" GYP. BD. OR 5/8" FIRE CODE GYP. BD. AS REQUIRED.
- ALL WALLS AND CEILINGS SHALL BE READY TO RECEIVE PAINT OR WALL COVERINGS BY OWNER'S PAINTER UNLESS NOTED OTHERWISE. THIS INCLUDES PATCHING OF ALL CRACKS/HOLES.
- ALL STUDS SHALL BE SPACED SO AS TO AVOID INTERFERENCE WITH PLUMBING WORK, ELECTRICAL WORK, DUCTWORK AND THE LIKE, BUT IN NO CASE SHALL BE SPACED FURTHER THAN 16" O.C. AND ALIGNED WITH MEMBERS IN WHICH THEY SUPPORT, UNLESS NOTED OTHERWISE.
- PROVIDE HEADERS, BLOCKING AND/OR FRAMING AS REQUIRED FOR SUPPORT OF ALL ELECTRICAL FIXTURES, TOLL BAR/HOOKS, SHELVING, DUCT REGISTERS AND MILLWORK.
- ELECTRICAL BOXES TO SUPPORT FANS AND LARGE FIXTURES SHALL BE APPROVED FOR SUPPORTING SUCH LOADS. COVERED JUNCTION BOXES SHALL BE PROVIDED UNDER KITCHEN SINK TO PROVIDE POWER FOR DISHWASHERS, GARBAGE DISPOSALS AND OTHER APPLIANCES AS REQUIRED.
- DOOR KNOBS AND PULLS SHALL BE INSTALLED AT 36" AFF, UNLESS NOTED OTHERWISE.
- ALL EXTERIOR WALLS TO RECEIVE GYP. BD. SHALL BE FILLED WITH BATT INSULATION.
- CEILING CONSTRUCTION SPACING SHALL BE MODIFIED AS REQUIRED AND ADDITIONAL MEMBERS INSTALLED IN ORDER TO PROPERLY CENTER PLUMBING FIXTURES AND LIGHT FIXTURES AS SHOWN ON DRAWINGS.
- ACCESS TO AND USE OF UTILITIES, INCLUDING WATER, ELECTRICITY AND NATURAL GAS FOR THE DURATION OF WORK SHALL BE PROVIDED BY AND PAID FOR BY OWNER.
- ALL DOORS TO REMAIN KEYLESS IN THE DIRECTION OF EGRESS.
- ALL WINDOWS SHALL HAVE TEMPERED LABELLED GLASS AT HAZARDOUS LOCATIONS, WHEN GLASS IS LESS THAN 18" ABOVE THE FINISHED FLOOR AND ELSEWHERE AS REQUIRED BY CODE.
- SMOKE DETECTORS SHALL BE HARD WIRED INTERLOCKED AND EQUIPPED WITH A BATTERY BACKUP. SMOKE DETECTORS SHALL BE INSTALLED IN EACH BEDROOM, AT POINTS CENTRALLY LOCATED IN THE CORRIDOR OR GIVING ACCESS TO TO EACH SEPARATE BEDROOM. SMOKE DETECTORS SHALL BE INSTALLED IN HALLWAYS AND ADJACENT ROOM WHEN THE CEILING HEIGHT OF A ROOM OPEN TO THE HALLWAY SERVING THE BEDROOM EXCEEDS THAT OF THE HALLWAY BY 24" OR MORE. SMOKE DETECTORS SHALL SOUND AN ALARM IN ALL SLEEPING AREAS OF THE DWELLING IN WHICH THEY ARE LOCATED "INTERCONNECTED".
- ATTIC ACCESS SHALL BE 22"x30" MIN., THERE SHALL BE 30" MIN. CLEARANCE AT OR ABOVE THE OPENING. ATTIC ACCESS SHALL BE LOCATED IN A CORRIDOR, HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. ATTICS WITH A MAXIMUM VERTICAL HEIGHT OF LESS THAN 30" WILL NOT REQUIRE ACCESS OPENINGS.
- ATTIC VENTILATION SHALL BE A MIN. OF 1 SQUARE FOOT PER EVERY 150 SF OF ATTIC SPACE.

DEMOLITION NOTES:

- PERFORM THE DEMOLITION WORK IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF THE LATEST EDITION OF AMERICAN STANDARD SAFETY CODE FOR BUILDING CONSTRUCTION. EXTENT OF DEMOLITION WORK IS SHOWN ON DRAWING.
- A DEMOLITION INCLUDES COMPLETE REMOVAL, DISPOSAL OR SAVING OF SPECIFIED WORK. WHERE DEMOLITION OCCURS, REMAINING WALLS ARE TO BE PATCHED, SANDED SMOOTH AND PREPARED FOR FINISHING AS REQUIRED. PATCH AND REPAIR FLOORS AS REQUIRED FOR SMOOTH AND LEVEL FINISH. KEEP EGRESS WAYS AND STAIRWAYS UNOBSTRUCTED AND AVAILABLE FOR USE AT ALL TIMES DURING DEMOLITION PERORATION. REMOVAL OF WALLS AND/OR CONSTRUCTION WHICH SEEM TO BE OF A STRUCTURAL NATURE SHALL BE FIELD COORDINATED WITH ARCHITECT.
- DEMOLITION CONTRACTOR TO REMOVE ALL EXISTING DUCTWORK, PIPING, AND ELECTRICAL CONDUIT AND DEVICES LOCATED IN ANY PARTITION WHICH IS BEING REMOVED. ALL UTILITIES TO BE CAPPED AT TAP CONNECTION. WHATEVER WATER LINES, SUPPLIES, VENTS AND DRAINS TO SINKS, TOILETS, LAVS, ETC. ARE TO BE DISCONNECTED, THEY SHALL BE CAPPED AT THE TAP CONNECTION. THE ELECTRICAL DISCONNECTION OF LIGHT FIXTURES, SWITCHES, OUTLETS, THERMOSTATS, AND MISCELLANEOUS ELECTRICAL ITEMS SHALL BE AT THE SUPPLY JUNCTION BOX, WHERE ELECTRICAL PANELS ARE REMOVED (SEE PLAN FOR LOCATIONS) THEY SHALL BE DISCONNECTED AT MAIN FEEDER SUPPLY PANEL.
- ALL MATERIAL REMAINING FROM DEMOLITION SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL REGULATIONS. NO DEBRIS OF ANY KIND SHALL BE BURNED OR BURIED ON THE SITE.
- THE DESIGNER HAS NO KNOWLEDGE OF ANY HAZARDOUS MATERIALS (I.E. LEAD OR ASBESTOS) AND THIS IS ASSUMED TO BE THE OWNERS RESPONSIBILITY.

CONCRETE NOTES:

- PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO COMPLETE ALL CONCRETE WORK INCLUDING EXCAVATION, TRENCHING, FORM WORK, REINFORCING AND FINISHING. ALL CONCRETE, UNLESS OTHERWISE NOTED, SHALL BE 3000 PSI STRENGTH AT 28 DAYS. REFER TO DRAWING FOR SIZES, DEPTHS AND REINFORCEMENT.
- ALL WORK SHALL BE DONE ACCORDING TO LOCAL CODES AND PRACTICES. FOOTING AND FOUNDATIONS SHALL BE OF SIZES, DEPTHS AND REINFORCEMENT AS INDICATED ON THE DRAWINGS. REINFORCING SHALL BE UNPAINTED AND UNCOATED, FREE FROM RUST OR SCALE.
- ALL CONCRETE POURED IN FREEZING WEATHER SHALL BE PROTECTED SO AS TO MAINTAIN CONCRETE TEMPERATURES ABOVE OR BETWEEN 40 AND 50 DEGREES FOR A MINIMUM OF 5 DAYS. UNDER NO CIRCUMSTANCES SHALL THE CONCRETE BE ALLOWED TO FREEZE. CHEMICAL ADITIVES SHALL BE MIXED WITH THE CONCRETE ONLY WITH THE PRIOR APPROVALS OF THERE LOCAL INSPECTING OFFICIAL.
- THE CONTRACTOR SHALL INSTALL, INSERT AND LOCATE ANY AND ALL DEVICES REQUIRED FOR THE ATTACHMENT OF OTHER WORK.
- ALL BASEMENT WINDOW WELLS SHALL BE BRACED DURING CONSTRUCTION TO PREVENT DAMAGE.

EXCAVATOR SHALL CALL JULIE 48 HOURS BEFORE EXCAVATION FOR UTILITY LOCATIONS
1-800-892-0123

CARPENTRY NOTES:

FLOOR JOISTS, HEADERS AND SIMILAR MEMBERS
SHALL HAVE FB = 1350 PSI 25% FB = 1200 PSI ALLOWED, DOUGLAS FIR #1 OR BETTER. MATERIAL SHALL HAVE A MOISTURE CONTENT OF LESS THAN 19% AT TIME OF SURFACING AND SHALL BE GRADE MARKED DRY. DOUBLE JOISTS UNDER ALL PARTITIONS. HEADERS AT ALL WINDOWS AND DOORS SHALL CONFORM TO THE FOLLOWING MAXIMUM SPANS, UNLESS NOTED OTHERWISE:

ALL HEADERS SHALL BE (2) 2x12s UNLESS NOTED OTHERWISE

ALL HEAD HEIGHTS FOR WINDOWS AND DOOR HEIGHTS SHALL MATCH EXISTING.

BUILDING DESIGN LOADS ARE AS FOLLOWS:

LOAD TYPE	LIVE(PSF)	TOTAL(PSF)
WIND	20	20
ROOF	30	30
FLOOR	50	50
SLEEPING FL.	50	50

MANUFACTURED MEMBERS:

ANY PREFABRICATED JOISTS, LAMINATED-VENEER LUMBER HEADERS, OR OTHER MANUFACTURED WOODED FRAMING SHALL BE AS MANUFACTURED BY TRUS-JOIST CORP. IN SIZES AND QUANTITIES SHOWN ON THE PLANS, OR EQUAL. MEMBERS CONSTRUCTED OF GLUE-LAMINATED (GLULAM) LUMBER SHALL BE DOUGLAS FIR, OR SIZES AND COMBINATION SYMBOLS WITH RELATED ALLOWABLES AND UNIT STRESS RATINGS SHOWN ON THE PLAN. SUBSTITUTIONS SHALL NOT BE MADE FOR TRUS-JOIST MEMBERS WITHOUT APPROVED CALCULATIONS BY THE SUBSTITUTED MATERIAL'S SUPPLIER. THE LAYOUT OF HVAC MECHANICAL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH MANUFACTURER'S GUIDELINES.

STRUCTURAL MEMBERS

CUTTING AND NOTCHING OF STUDS, JOISTS, RAFTERS AND PLATES SHALL NOT EXCEED ALLOWABLE STANDARDS AS REQUIRED BY LOCAL BUILDING CODES. REMOVAL OF ANY STRUCTURAL MEMBER SHALL BE COMPENSATED FOR BY CONSTRUCTION AS REQUIRED BY CODE OR STRUCTURAL DESIGN.

STUDS AND MISCELLANEOUS MEMBERS

SHALL BE S4S DOUGLAS FIR, SOUTHERN PINE, HEM-FIR OR APPROVED EQUAL OF NOMINAL SIZES SHOWN: MAXIMUM MOISTURE CONTENT 19% AT TIME OF GRADING

ROOF SHEATHING

SHALL BE EXTERIOR GLUE, EXPOSURE 1 PLYWOOD (THICKNESS AS INDICATED ON WALL SECTION) T&G OR WITH PANEL CLIPS FOR PANEL SPANS OF 24" AND SHALL BE INSTALLED OVER THE ROOF RAFTERS FOLLOWING THE RECOMMENDATIONS OF THE AMERICAN PLYWOOD ASSOCIATION PS-1.

SUBFLOORING

SHALL BE EXTERIOR GLUE, EXPOSURE 1 TONGUE AND GROOVE PLYWOOD SUBFLOORING PANEL (THICKNESS AS INDICATED ON WALL SECTION) 48/24 GLUED AND SCREWED TO THE FLOOR JOISTS SYSTEM. FOLLOW THE APPLICATION RECOMMENDATIONS OF THE AMERICAN PLYWOOD ASSOCIATION PS-1.

FIRESTOPPING AND BRIDGING

PROVIDE FIRESTOPPING IN WALLS, SOFFITS, PLATE PENETRATIONS, ETC. AS REQUIRED BY LOCAL CODE. PROVIDE SOLD OR DIAGONAL WOOD BRIDGING FOR ALL JOISTS PER STANDARD PRACTICE AND LOCAL CODE.

FINISH NOTES:

EXTERIOR

SEE WALL SECTION AND ELEVATIONS
EXACT MATERIAL SPECIFICATIONS (E.G., WOOD VS. CEDAR, COLOR/WEIGHT OF SHINGLES) SHALL BE VERIFIED WITH OWNER BEFORE PURCHASE AND INSTALLATION.

INTERIOR

ALL CLOSETS SHALL HAVE SHELVES AND RODS, QUANTITIES AS SHOWN ON DRAWINGS. VERIFY QUANTITIES OF SHELVES IN LINEN, BAR, PANTRY AREAS WITH OWNER PRIOR TO INSTALLATIONS. UNLESS NOTED OTHERWISE ON DRAWINGS, ALL ITEMS BELOW TO BE SELECTED BY OWNER. GENERAL CONTRACTOR SHALL SPECIFY THOSE ITEMS IN HIS CONTRACT THAT WILL BE SUPPLIED AND INSTALLED BY HIMSELF OR HIS SUB-CONTRACTORS:
-KITCHEN APPLIANCES
-PLUMBING FIXTURES, INCLUDING TUBS/SHOWERS, TUB FILLERS/SHOWERHEADS AND VALVES, LAVATORIES, KITCHEN SINKS, FAUCETS, AND TOILETS
-TOWELS BARS AND PAPER HOLDERS, MEDICINE CABINETS & MIRROR WORK
-DOOR HARDWARE
-WOOD BASE, DOOR AND WINDOW CASING
-CARPETING, TILE, SHEET AND WOOD FLOORING

STAIRWAYS SHALL HAVE A MIN. WIDTH OF 34", HAND RAIL MAY ENCRoACH A MAX. OF 3 1/2" INTO THE REQUIRED WIDTH. TREADS SHALL HAVE A MIN. WIDTH OF 10". STAIR TREADS MUST BE UNIFORM AND CAN NOT VARY FROM THE LARGEST TO THE SMALLEST BY MORE THAN 3/8". STAIRWAYS SHALL HAVE A MIN 6-8" HEADROOM AT THE NOSE OF STAIR. ENCLOSED USABLE SPACE UNDER STAIRS SHALL BE PROTECTED ON THE ENCLOSED FACE WITH 5/8" TYPE "X" GYPSUM BOARD. STAIRWAYS SHALL HAVE AT LEAST ONE HANDRAIL LOCATED 34" TO 38" ABOVE THE NOSING OF TREADS AND LANDINGS. THE HAND GRIP PORTION OF THE HANDRAILS SHALL NOT BE LESS THAN 1 1/2" OR GREATER THAN 2" IN CROSS-SECTIONAL DIMENSION. 36" MIN. HEIGHT GUARDRAILS SHALL BE PROVIDED AT PORCHES, DECK, BALCONIES, STAIRWAYS AND LANDINGS WHERE THE ADJACENT SURFACE IS GREATER THAN 24" BELOW. RAILINGS AND GUARDRAIL BALUSTER SPACING SHALL BE NO GREATER THAN 4" O.C. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM OF GUARDRAIL SHALL NOT ALLOW A 4" DIAMETER SPHERE PASS THROUGH.

BATHROOM SHOWER/TUB WALLS IN WET AREAS RECEIVING TILE SHALL BE ½" DUROCK TILE BACKER; OTHER WALLS TO BE GYPSUM BOARD.

PAINTING SHALL INCLUDE (1) COAT PRIMER AND (2) FINISH COATS, COLOR AND FINISH TO BE VERIFIED WITH OWNER.

INTERIOR DOORS AND GARAGE DOORS TO BE SELECTED BY OWNER, DOOR SIZE AS SHOWN ON PLANS AND APPROVED BY OWNER. DOORS BETWEEN GARAGE AND LIVING AREA SHALL BE 1 3/4" TIGHT FITTING SOLID CORE DOORS WITH A 60 MINUTE FIRE RATING. EXTERIOR DOORS WILL BE 36" MIN., 32" MIN. CLEAR DOORWAY, OPENABLE FROM INSIDE WITHOUT USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. GLAZING IN DOORS SHALL BE DUAL PANE LABELED SAFETY GLASS WITH MIN. U-VALUE OF 0.30. PERIMETER OF DOOR SHALL BE WEATHER STRIPPED.

WINDOWS SHALL BE AS SHOWN PLANS. OWNER TO SELECT MANUFACTURER AND TYPE BUT SHALL MEET ALL CODE REQUIREMENTS FOR EGRESS, LIGHT AND VENTILATION. WINDOWS SHALL BE DUAL PANE (MIN U-VALUE OF 0.3). EVERY BEDROOM SHALL BE PROVIDED WITH AN EGRESS WINDOW WITH FINISH SILL HEIGHT NOT GREATER THAN 44" ABOVE THE FINISH FLOOR HEIGHT AND SHALL HAVE A MINIMUM OPENABLE AREA OF 5.7 SF. EGRESS WINDOWS SHALL NOT HAVE AN OPENABLE AREA LESS THAN 20" WIDE OR 24" HIGH. SAFETY GLAZING IS TO BE USED IN DOORS WITHIN A 24" ARC OF DOORS AND WHERE THE BOTTOM EDGE IS WITHIN 18" ABOVE THE FLOOR. SAFETY GLAZING SHALL BE PROVIDED IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, AND SHOWERS. ALL EXTERIOR DOORS AND WINDOWS SHALL BE FINISHED WITH WEATHER RESISTANT COATINGS AND WEATHERSTRIPPED.

MECHANICAL NOTES:

NEW FORCED AIR, GAS-FIRED FURNACE SHALL BE INSTALLED, ALONG WITH THE REQUIRED AC CONDENSER. ALL NECESSARY PIPING, DUCTWORK AND POWER SERVICE SHALL BE MINIMUM 90% EFFICIENCY TYPE UNLESS DIRECTED OTHERWISE BY OWNER. RETURN AND SUPPLY REGISTER LOCATIONS SHALL BE APPROVED BY OWNER BEFORE INSTALLATION.

CONTRACTOR SHALL INCLUDE THE COST OF DUCTING ALL EXHAUST FANS FROM BATH AND RANGE HOODS TO THE OUTDOORS. THESE SHALL BE EQUIPPED WITH BACK DRAFT DAMPERS, SCREENING AND RAINCAPS.

NEW GAS-FIRED HIGH EFFICIENCY WATER HEATER TO BE PROVIDED CONFIRM LOCATION WITH OWNER.

Randolph F. Liebelt
AIA, NCARB
900 North Shore Drive
Suite 100
Lake Bluff, Illinois 60044
PH (847) 615-0707
FAX (847) 574.6207
LA.Design@sbglobal.net

Project Name:

9131 New
England LLC

Project:

First Floor Remodel, Front
Porch and Second Floor
Addition

Address:

9131 New England Ave
Morton Grove, IL



Revised Plans 01.11.20

Revised Plans 12.17.19

Preliminary Plans 11.23.19

Drawn By DH

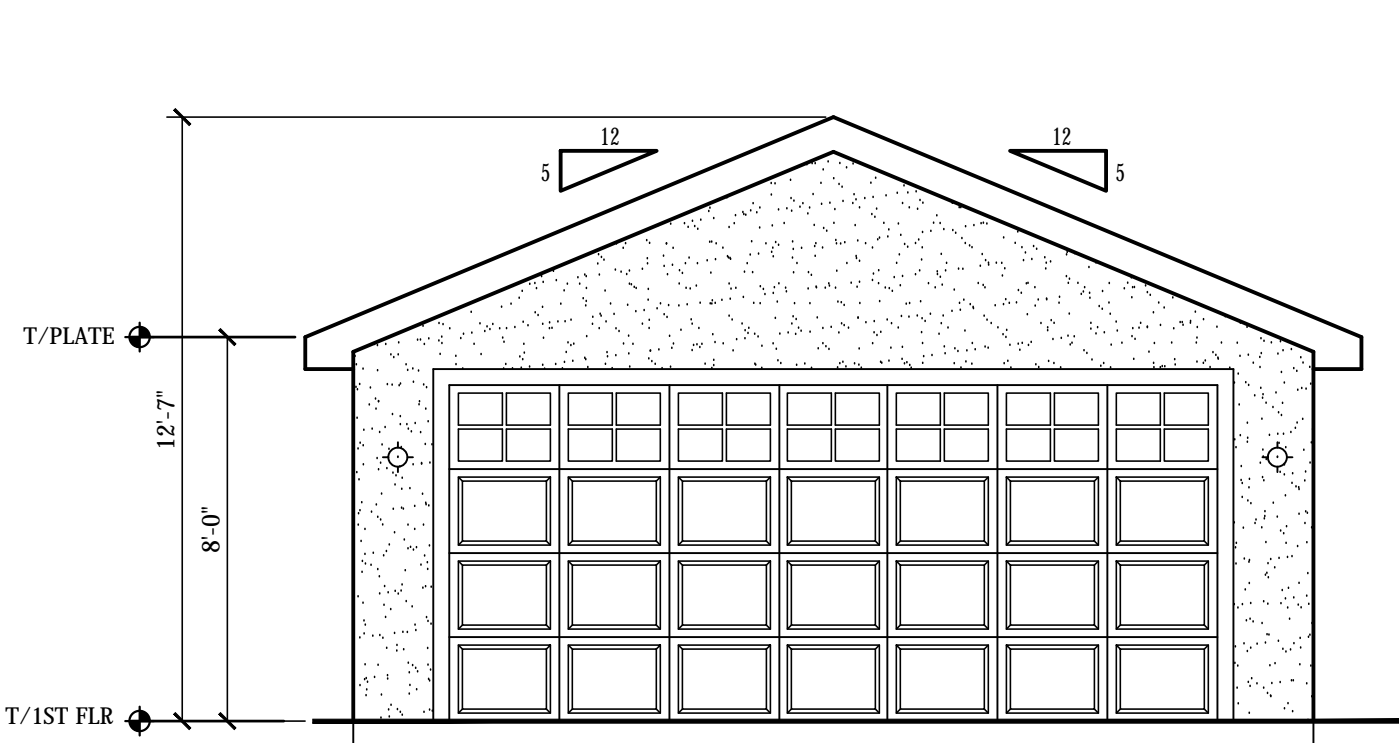
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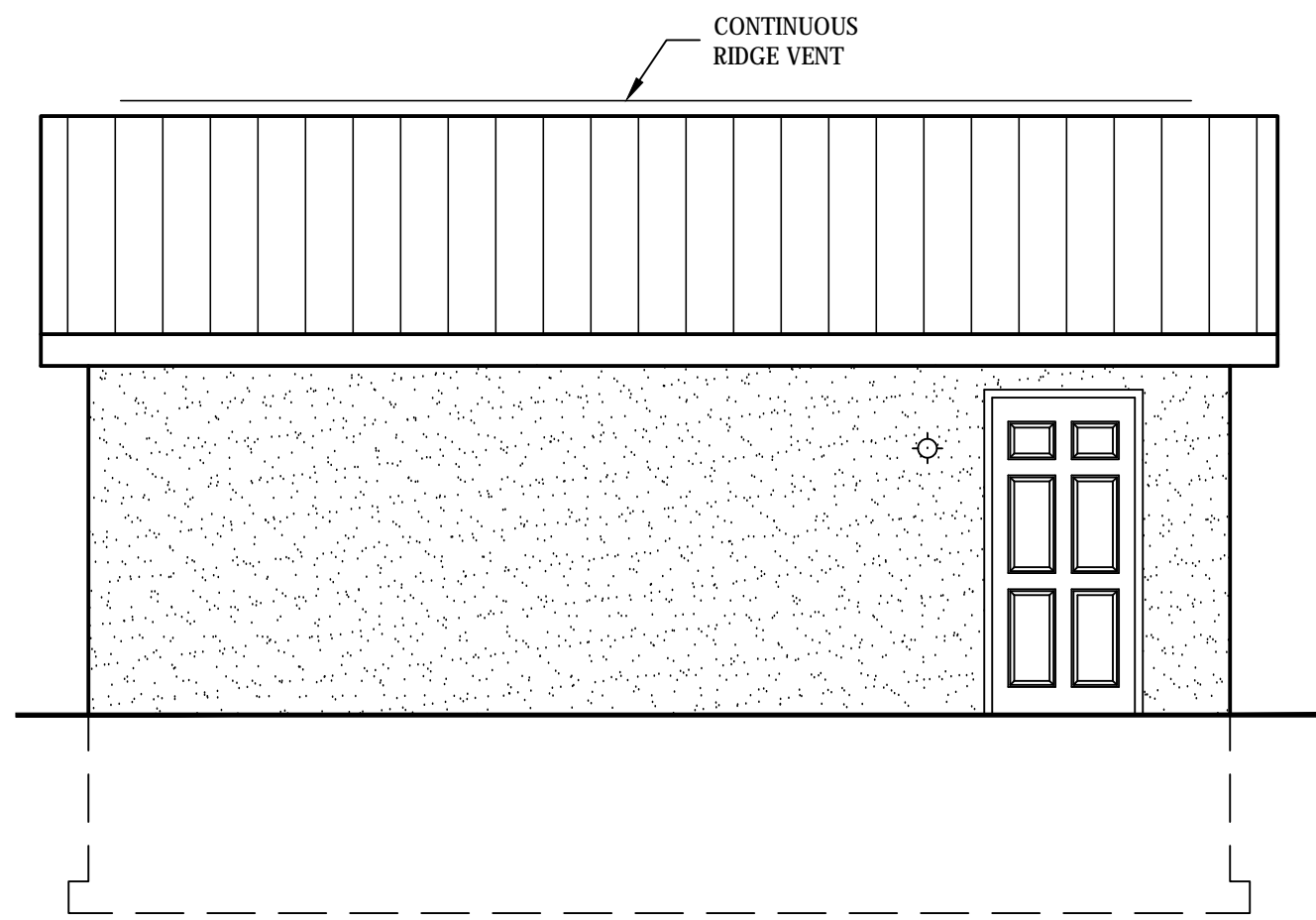
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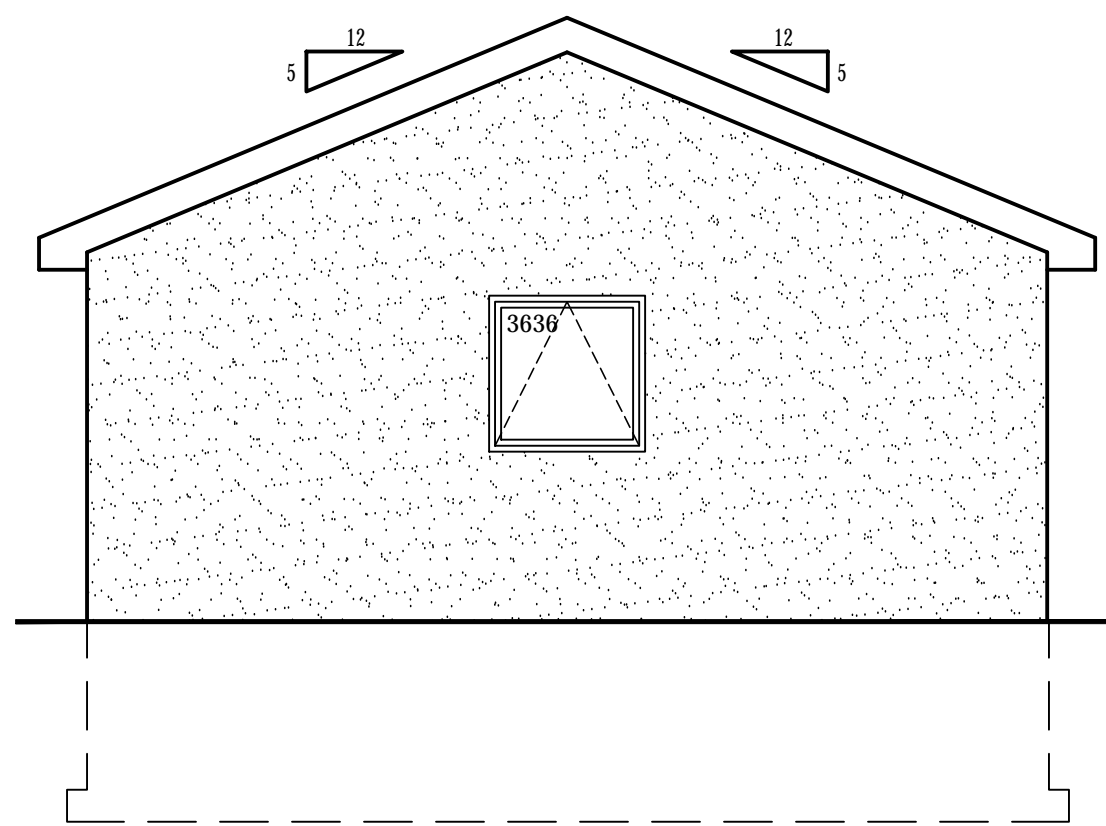
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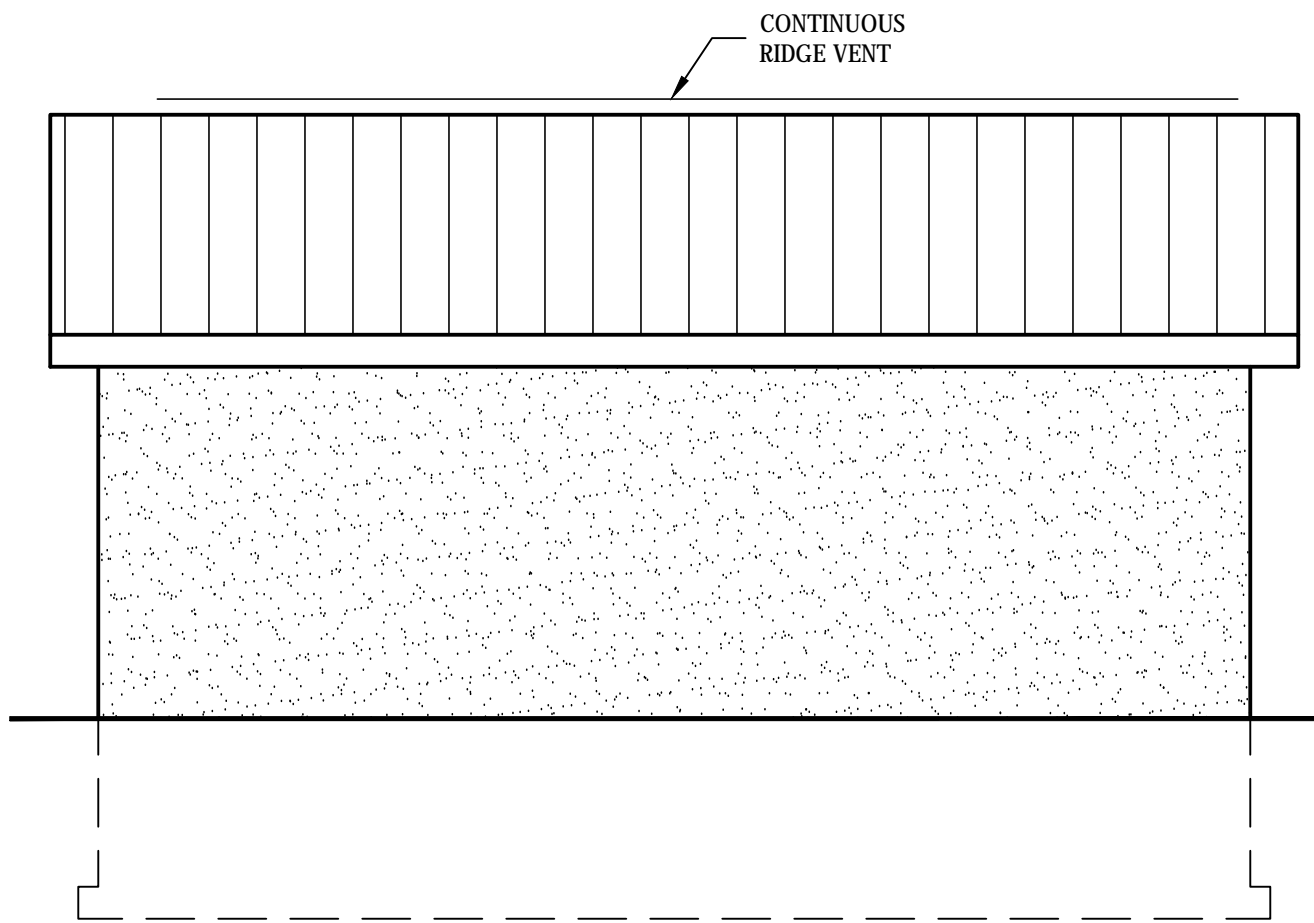
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A9
PROPOSED FRONT ELEVATION
SCALE 1/4"= 1'-0"



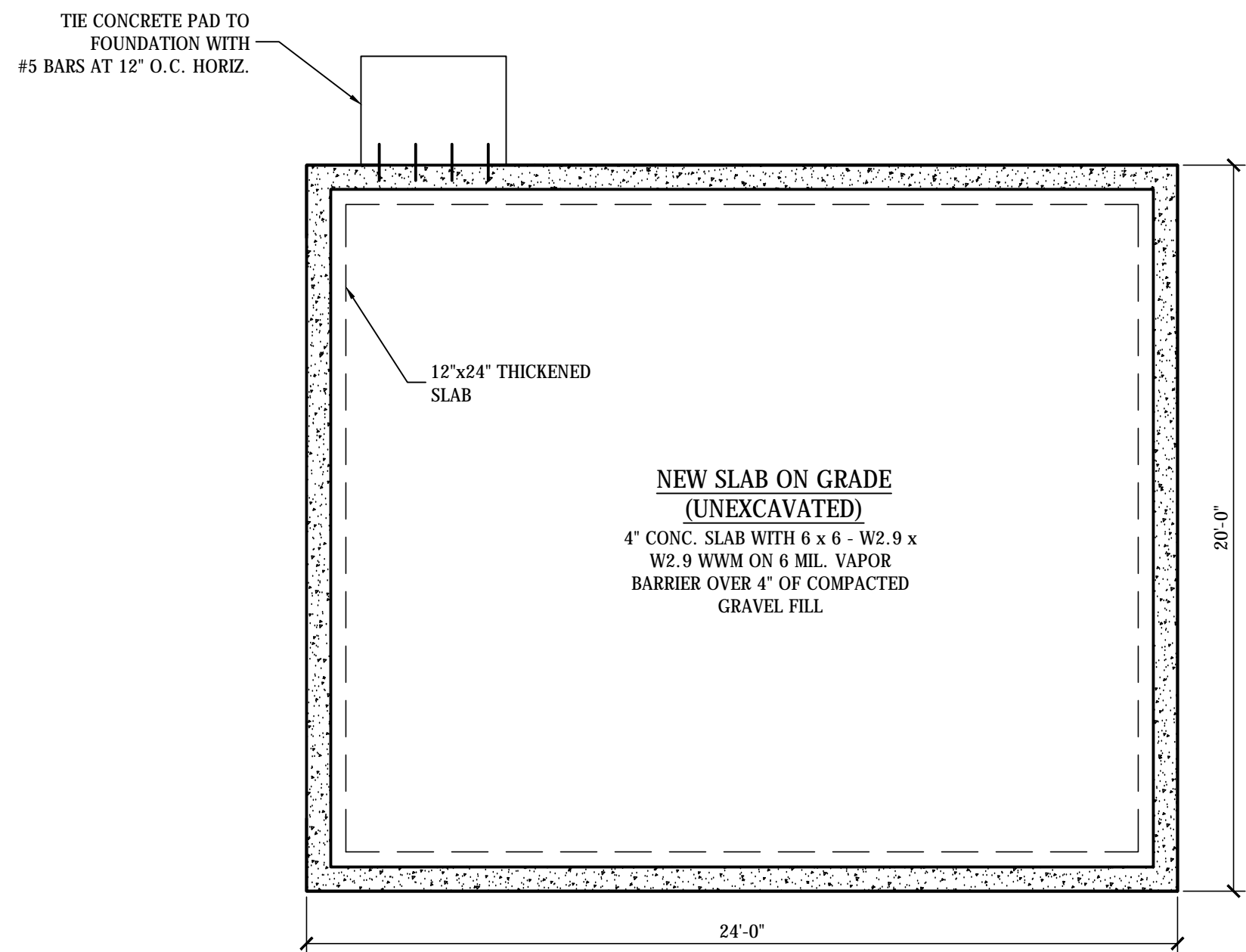
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PROPOSED LEFT ELEVATION
SCALE 1/4"= 1'-0"



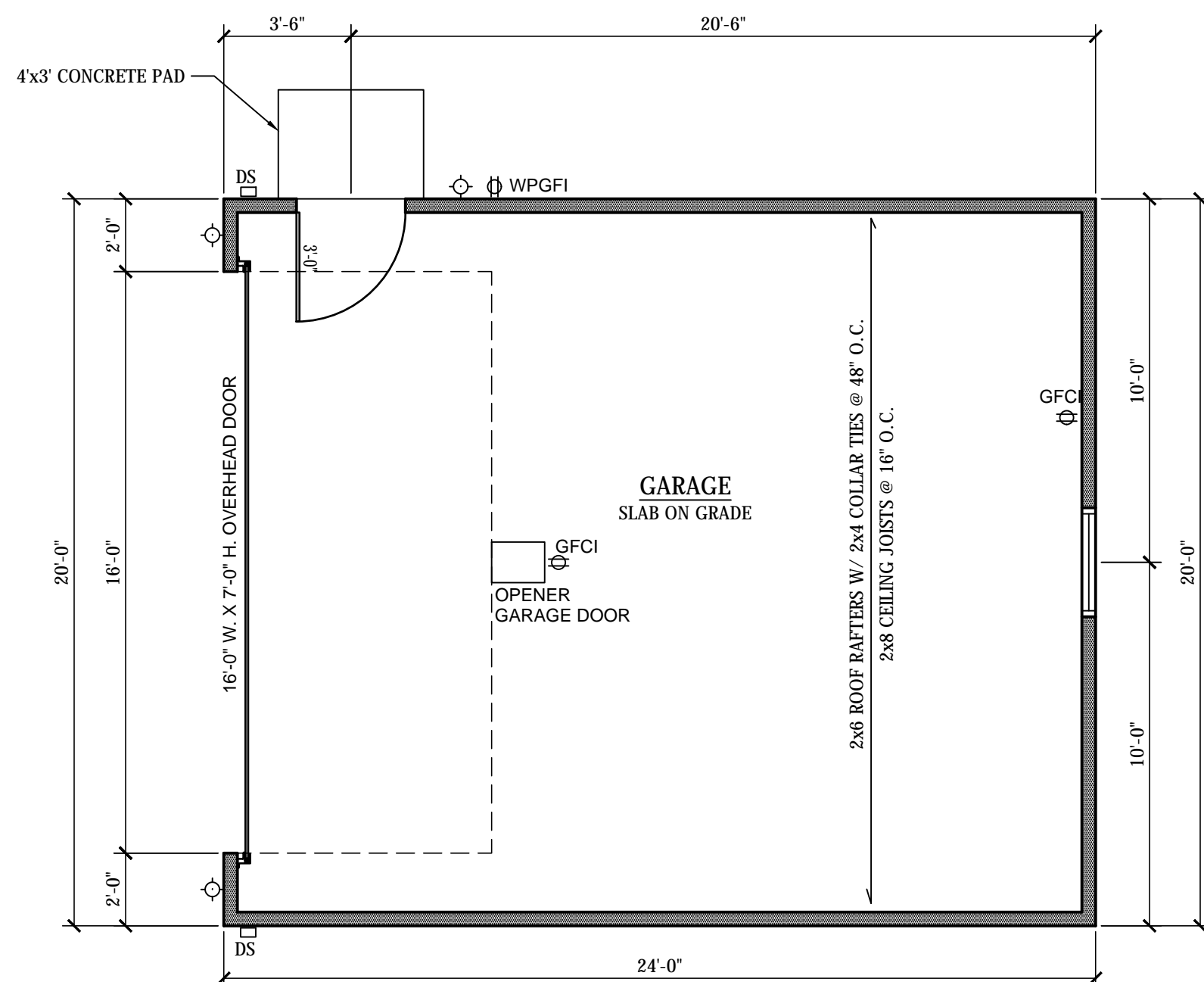
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PROPOSED REAR ELEVATION
SCALE 1/4"= 1'-0"



4
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PROPOSED RIGHT ELEVATION
SCALE 1/4"= 1'-0"

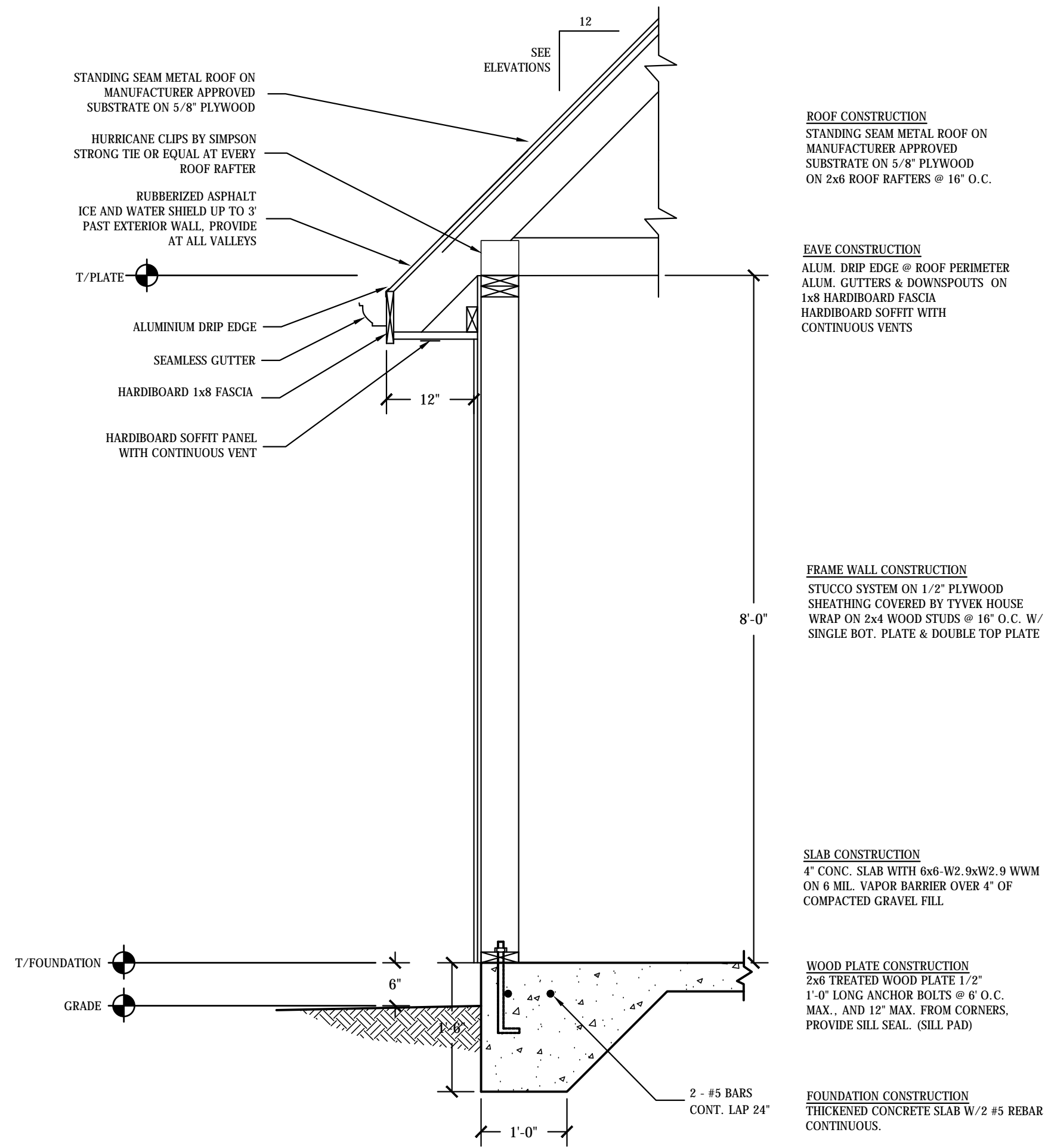


5
A9
PROPOSED GARAGE FOUNDATION PLAN
SCALE 1/4"= 1'-0"



6
A9
PROPOSED GARAGE FLOOR PLAN
SCALE 1/4"= 1'-0"

NOTE:
PROVIDE A MIN. OF 2x12 HEADERS
ABOVE ALL WINDOWS UNLESS
NOTED OTHERWISE



7
A9
TYPICAL WALL SECTION
SCALE 3/4"= 1'-0"

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10 of -

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MURRY AND MOODY, LTD.

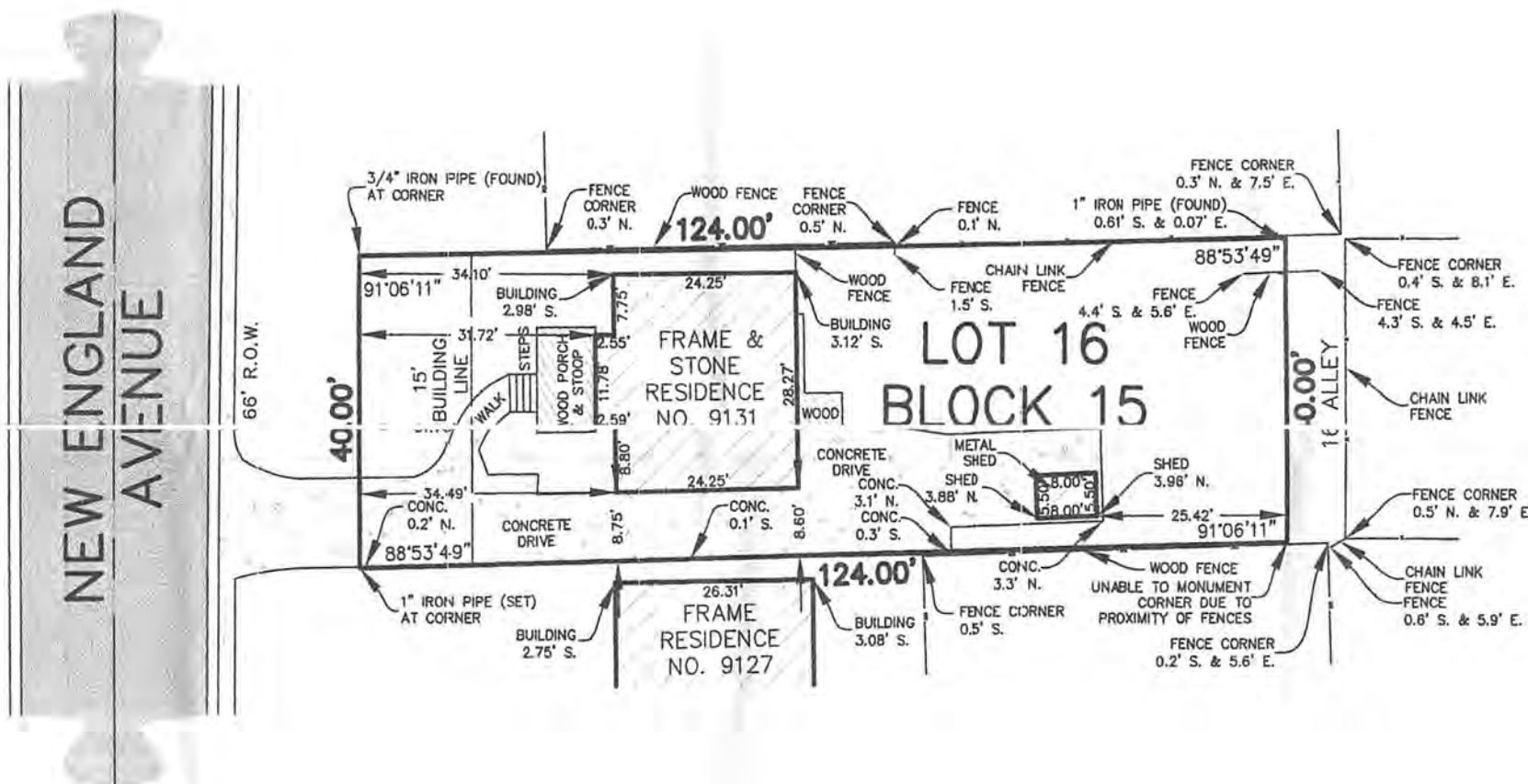
Land Surveyors

Illinois Professional Land Surveying Firm Corporation License No. 184-002845
933 S. Plum Grove Road, Suite 101
Palatine, Illinois 60067
www.murrysurvey.com info@murrysurvey.com Phone: (817)358-5960

PLAT OF SURVEY OF

LOT 16 IN BLOCK 15 IN GOLFVIEW GARDENS, BEING A SUBDIVISION IN THE WEST HALF OF SECTION 18, TOWNSHIP 41 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 10, 1947 IN BOOK 242, PAGE 15, AS DOCUMENT NO. 9547835, IN COOK COUNTY, ILLINOIS.

AREA = 4,959.13± S.F. / 0.114 ACRE



NOTE: IT IS RECOMMENDED A SEARCH BE MADE FOR ALLEY VACATION AND SUBSEQUENT OWNERSHIP

LEGEND AND NOTES

Dimensions shown thus: 50.25 are feet and decimal parts thereof. Angular data shown thus: 90°00'00" indicate degrees, minutes and seconds.

50.25 / N 90°00'00" E indicates measure dimension / bearing.
(50.25) / (N 90°00'00" E) indicates record dimension / bearing.
[50.25 d] / [N 90°00'00" E d] indicates deed dimension / bearing.

Bearings shown hereon, if any, per local or assumed data, unless shown otherwise.

Compare your points before using same and report any differences immediately.

Check legal description with deed or title policy and report any discrepancy immediately. Building lines and easements, if any, shown hereon are as shown on the recorded subdivision plat or as indicated.

Order Number: 19-1094

Survey Made For: Roger W. Stelk, Attorney at Law

STATE OF ILLINOIS } s.s. COUNTY OF COOK }

I, Barbara C. Murry, an Illinois Professional Land Surveyor, do hereby certify that I have surveyed the above described property, and that the above plat is a correct representation of said survey and that this professional service conforms to the current Illinois minimum standards for a boundary survey.

Date of completion of field work: May 10, 2019

Palatine, Illinois: May 14, 2019

Illinois Professional Land Surveyor - Barbara C. Murry 035-003529
License Renewal date: November 30, 2020

Project Number: 19109400

Field Book: 321L-23-24

Drawing File: 19109400.dwg

